



# Newnan-Coweta County Airport Authority

Regular Meeting Session

~ Agenda ~

115 Airport Road  
Newnan, GA 30263  
[www.coweta.ga.us](http://www.coweta.ga.us)

Fran Collins  
770.254.2601

Thursday, August 26, 2021

9:00 AM

Commission Chambers

## Call to Order

Attendee Name	Present	Absent	Late	Arrived
Chairman Joe Rutkiewicz	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Vice-Chairman Hank Moody	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Secretary Lee Moody	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Authority Member Alan Starr	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Authority Member Janice Laws	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Airport Manager Calvin Walker	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Assistant Airport Manager Nate Schattner	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Attorney Nathan Lee	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Airport Engineer Phil Eberly	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Clerk Fran Collins	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Meeting Called to Order

Notification of Location of Rules

## REGULAR SESSION

### APPROVAL OF THE MINUTES

1. Thursday, July 22, 2021

### SUPPLEMENTAL AGENDA

### PUBLIC COMMENTS-ITEMS ON THE AGENDA

### NEW BUSINESS

2. Request Approval/Execution of Task Order # 10 with Lead Edge Design Associated with Land Acquisition Services
3. Request Approval/Execution of a Hangar Lease Agreement with the Coweta County Sheriff's Office
4. Request from Hale Aircraft Real Estate, LLP to Modify Existing Hangar
5. Request Approval to Host an Aviation Career Day at the Newnan-Coweta County Airport

### UPDATES FOR THE AUTHORITY

6. Update from the Airport Manager
7. Update from the Airport Engineer

**SUPPLEMENTAL ITEMS**

**PUBLIC COMMENTS-ITEMS NOT ON THE AGENDA**

**EXECUTIVE SESSION**

**AFFIDAVIT**

**ADJOURNMENT**

**As set forth in the Americans with Disabilities Act of 1992, the Coweta County government does not discriminate on the basis of disability and will assist citizens with special needs given proper notice (seven working days). For more information, please contact ADA Coordinator Tom Corker at 770.254.2608.**



## Airport

**To:** Newnan-Coweta County Airport Authority

**From:** Calvin Walker, Airport Manager

**Date:** 8/17/2021

**RE:** Task Order # 10 With Lead Edge Design Associated with Land Acquisition Services

**Issue:** Task Order # 10 with Lead Edge Design Associated with Land Acquisition Services

**Discussion:** Obstruction removal was identified in the most recent Airport inspection conducted by the Georgia Department of Transportation Aviation Division. Task Order # 10 is associated with land acquisition services for multiple parcels located in the Runway Protection Zone (RPZ) and primary surfaces. The project consists of obstruction removal and control of primary surface for Runway 15-33.

### FINANCIAL IMPACT:

Total costs \$233,750 local share \$23375

**08/26/21 123457 - Airport Authority** **(\$233,750.00)**

Full Cost; Local Share - \$23,375

**Recommendation:** Staff recommends that the Authority execute Task Order # 10 with Lead Edge Design associated with land acquisition services for obstruction removal and control of primary surface for Runway 15-33.

**TASK ORDER NO. 10  
LAND ACQUISITION SERVICES  
NEWNAN-COWETA COUNTY AIRPORT  
NEWNAN, GEORGIA**

This Task Order is written pursuant to the basic agreement entitled General Services Agreement, executed on October 21<sup>st</sup>, 2020. The referenced basic agreement pertains to proposed improvements to the Newnan-Coweta County Airport. This Task Order entered into and executed on the date indicated below the signature block, by and between the Newnan-Coweta County Airport Authority (Owner) and Lead Edge Design Group, Inc. (Engineer), sets forth the project description, project schedule, and engineering fees related to the documents for Land Acquisition Services at the Newnan-Coweta County Airport.

**SECTION I - PROJECT DESCRIPTION**

The project is to consist of land acquisition services for multiple parcels located in the Runway Protection Zone and primary surface for obstruction removal and control of primary surface for Runway 15-33.

**SECTION II - PROJECT SCHEDULE**

From the time the Owner approves this Task Order, the Engineer shall begin services for the project.

**SECTION III - SCOPE OF SERVICES**

Engineer will provide those services listed in the General Services Agreement which are applicable to this specific Task Order. Specifically, this project will include:

- A. Boundary survey and plat
- B. Property appraisal and review appraisal of multiple parcels identified as Tax Parcel No. 077 2089 001, Tax Parcel No. 078 2153 001, Tax Parcel No. 089 2090 006, Tax Parcel No. 089 2090 007, Tax Parcel No. 089 2090 009, Tax Parcel No. 089 2090 010, Tax Parcel No. 089 2090 013, Tax Parcel No. 089 2123 001, Tax Parcel No. 089 2123 015, Tax Parcel No. 089 2123 016, and Tax Parcel No. 089 2124 001. The appraisals will conform to FAA standards as defined in FAA AC 150/5100-17, Chapter 2, Real Property Appraisal
- C. Phase 1 Environmental Site Assessment for fee acquisition parcels
- D. Land Acquisition Negotiation Services
- E. Project Coordination

Services not included in this Task Order:

- A. Appraisal updates. Updates to completed appraisals and review appraisals will be performed under a subsequent task order.
- B. Predesign geotechnical investigation

- C. Topographic survey for design
- D. 3-year Disadvantaged Business Enterprise Plan or Disadvantaged Business Enterprise Plan for a specific project
- E. Engineers design report
- F. ALP Update
- G. Design phase services
- H. Bid phase services
- I. Construction phase services
- J. Geotechnical quality assurance testing during construction
- K. On-site project observation
- L. Record drawings
- M. Utility location, removal, or relocation
- N. Preparation of design drawings, specifications, and contract documents
- O. As built surveys
- P. Assistance with obtaining permits
- Q. Agency permit fees
- R. Environmental Services
- S. Removal or mitigation of hazardous materials
- T. Printing & shipping

**SECTION IV - FEES AND PAYMENTS**

The following fees are to be paid to the Engineer as compensation for these services:

- A. Land Acquisition Services: \$ 233,750.00

**SECTION V - BASIC AGREEMENT IN EFFECT:**

Except as amended specifically herein, the basic General Services Agreement shall remain in full force as originally approved and executed.

IN WITNESS WHEREOF, the parties hereto have caused this Task Order to be duly executed as of the date and year first written herein.

**NEWNAN-COWETA COUNTY AIRPORT  
AUTHORITY**

**LEAD EDGE DESIGN GROUP, INC.**

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Name (Print): \_\_\_\_\_

Name (Print): \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

**Newnan-Coweta County Airport  
Land Acquisition Services for Runway 15-33 Obstruction Removal and Primary Surface  
07.16.21**



**Runway 15 End - Land Acquisition Services**

Land Acquisition Services	ESTIMATED PROJECT COST			TOTAL COST
	Federal Share	State Share	Local Share	
<b><u>Runway 15 End</u></b>				
<b>Commercial - 077 2089 001</b>				
<b>W &amp; W Realty Company - Avigation Easement</b>				
Boundary Survey and Plat	\$ 4,950	\$ -	\$ 550	\$ 5,500
Appraisal	\$ 2,700	\$ -	\$ 300	\$ 3,000
Review Appraisal	\$ 1,080	\$ -	\$ 120	\$ 1,200
Acquisition Negotiations	\$ 2,700	\$ -	\$ 300	\$ 3,000
Project Coordination 10% - Lead Edge Design Group	\$ 1,143	\$ -	\$ 127	\$ 1,270
<b>Total Land Acquisition Services for 077 2089 001</b>	<b>\$ 12,573</b>	<b>\$ -</b>	<b>\$ 1,397</b>	<b>\$ 13,970</b>
<b>Agricultural - 078 2153 001</b>				
<b>P &amp; L Bridgeport - Acquisition in Fee - Partial Taking</b>				
Boundary Survey and Plat	\$ 9,180	\$ -	\$ 1,020	\$ 10,200
Appraisal	\$ 2,700	\$ -	\$ 300	\$ 3,000
Review Appraisal	\$ 1,080	\$ -	\$ 120	\$ 1,200
Acquisition Negotiations	\$ 2,700	\$ -	\$ 300	\$ 3,000
Phase 1 Environmental	\$ 2,430	\$ -	\$ 270	\$ 2,700
Project Coordination 10% - Lead Edge Design Group	\$ 1,809	\$ -	\$ 201	\$ 2,010
<b>Total Land Acquisition Services for 078 2153 001</b>	<b>\$ 19,899</b>	<b>\$ -</b>	<b>\$ 2,211</b>	<b>\$ 22,110</b>
<b>Commercial - 089 2090 006</b>				
<b>PFJ Southeast - Avigation Easement</b>				
Boundary Survey and Plat	\$ 13,680	\$ -	\$ 1,520	\$ 15,200
Appraisal	\$ 4,500	\$ -	\$ 500	\$ 5,000
Review Appraisal	\$ 1,170	\$ -	\$ 130	\$ 1,300
Acquisition Negotiations	\$ 2,700	\$ -	\$ 300	\$ 3,000
Project Coordination 10% - Lead Edge Design Group	\$ 2,205	\$ -	\$ 245	\$ 2,450
<b>Total Land Acquisition Services for 089 2090 006</b>	<b>\$ 24,255</b>	<b>\$ -</b>	<b>\$ 2,695</b>	<b>\$ 26,950</b>

Attachment: Task Order 10 - Land Acquisition Services (10461 : Task Order # 10 - Land Acquisition

**Newnan-Coweta County Airport  
Land Acquisition Services for Runway 15-33 Obstruction Removal and Primary Surface  
07.16.21**



**Runway 15 End - Land Acquisition Services**

Land Acquisition Services	ESTIMATED PROJECT COST			TOTAL COST
	Federal Share	State Share	Local Share	
<b>Runway 15 End</b>				
<b>Commercial - 089 2090 007</b>				
<b>NGL Propane - Acquisition in Fee</b>				
Boundary Survey and Plat	\$ 5,220	\$ -	\$ 580	\$ 5,800
Appraisal	\$ 4,500	\$ -	\$ 500	\$ 5,000
Review Appraisal	\$ 1,170	\$ -	\$ 130	\$ 1,300
Acquisition Negotiations	\$ 7,650	\$ -	\$ 850	\$ 8,500
Phase 1 Environmental	\$ 2,430	\$ -	\$ 270	\$ 2,700
Project Coordination 10% - Lead Edge Design Group	\$ 2,097	\$ -	\$ 233	\$ 2,330
<b>Total Land Acquisition Services for 089 2090 007</b>	<b>\$ 23,067</b>	<b>\$ -</b>	<b>\$ 2,563</b>	<b>\$ 25,630</b>
<b>Commercial - 089 2090 009</b>				
<b>Crain Family Holdings - Avigation Easement</b>				
Boundary Survey and Plat	\$ 4,590	\$ -	\$ 510	\$ 5,100
Appraisal	\$ 2,700	\$ -	\$ 300	\$ 3,000
Review Appraisal	\$ 1,080	\$ -	\$ 120	\$ 1,200
Acquisition Negotiations	\$ 2,700	\$ -	\$ 300	\$ 3,000
Project Coordination 10% - Lead Edge Design Group	\$ 1,107	\$ -	\$ 123	\$ 1,230
<b>Total Land Acquisition Services for 089 2090 009</b>	<b>\$ 12,177</b>	<b>\$ -</b>	<b>\$ 1,353</b>	<b>\$ 13,530</b>
<b>Residential - 089 2090 010</b>				
<b>Donnie Duke - Acquisition in Fee</b>				
Boundary Survey and Plat	\$ 4,680	\$ -	\$ 520	\$ 5,200
Appraisal	\$ 900	\$ -	\$ 100	\$ 1,000
Review Appraisal	\$ 810	\$ -	\$ 90	\$ 900
Acquisition Negotiations	\$ 7,650	\$ -	\$ 850	\$ 8,500
Phase 1 Environmental	\$ 2,250	\$ -	\$ 250	\$ 2,500
Project Coordination 10% - Lead Edge Design Group	\$ 1,629	\$ -	\$ 181	\$ 1,810
<b>Total Land Acquisition Services for 089 2090 010</b>	<b>\$ 17,919</b>	<b>\$ -</b>	<b>\$ 1,991</b>	<b>\$ 19,910</b>

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**Newnan-Coweta County Airport  
Land Acquisition Services for Runway 15-33 Obstruction Removal and Primary Surface  
07.16.21**



**Runway 15 End - Land Acquisition Services**

Land Acquisition Services	ESTIMATED PROJECT COST			TOTAL COST
	Federal Share	State Share	Local Share	
<b>Runway 15 End</b>				
<b>Commercial - 089 2090 013</b>				
<b>P &amp; L Bridgeport- Avigation Easement</b>				
Boundary Survey and Plat	\$ 5,400	\$ -	\$ 600	\$ 6,000
Appraisal	\$ 2,700	\$ -	\$ 300	\$ 3,000
Review Appraisal	\$ 1,080	\$ -	\$ 120	\$ 1,200
Acquisition Negotiations	\$ 2,700	\$ -	\$ 300	\$ 3,000
Project Coordination 10% - Lead Edge Design Group	\$ 1,188	\$ -	\$ 132	\$ 1,320
<b>Total Land Acquisition Services for 089 2090 013</b>	<b>\$ 13,068</b>	<b>\$ -</b>	<b>\$ 1,452</b>	<b>\$ 14,520</b>
<b>Total Land Acquisition Services for Runway 15 End</b>	<b>\$ 122,958</b>	<b>\$ -</b>	<b>\$ 13,662</b>	<b>\$ 136,620</b>

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**Newnan-Coweta County Airport  
Land Acquisition Services for Runway 15-33 Obstruction Removal and Primary Surface  
07.16.21**



**Runway 33 End - Land Acquisition Services**

Land Acquisition Services	ESTIMATED PROJECT COST			TOTAL COST
	Federal Share	State Share	Local Share	
<b><u>Runway 33 End</u></b>				
<b>Residential - 089 2123 001</b>				
<b>Dianne Dunn - Acquisition in Fee</b>				
Boundary Survey and Plat	\$ 4,950	\$ -	\$ 550	\$ 5,500
Appraisal	\$ 900	\$ -	\$ 100	\$ 1,000
Review Appraisal	\$ 810	\$ -	\$ 90	\$ 900
Acquisition Negotiations	\$ 7,650	\$ -	\$ 850	\$ 8,500
Phase 1 Environmental	\$ 2,250	\$ -	\$ 250	\$ 2,500
Project Coordination 10% - Lead Edge Design Group	\$ 1,656	\$ -	\$ 184	\$ 1,840
<b>Total Land Acquisition Services for 089 2123 001</b>	<b>\$ 18,216</b>	<b>\$ -</b>	<b>\$ 2,024</b>	<b>\$ 20,240</b>
<b>Residential - 089 2123 015</b>				
<b>Anna Louise and Jonathan Baker - Acquisition in Fee</b>				
Boundary Survey and Plat	\$ 4,320	\$ -	\$ 480	\$ 4,800
Appraisal	\$ 900	\$ -	\$ 100	\$ 1,000
Review Appraisal	\$ 810	\$ -	\$ 90	\$ 900
Acquisition Negotiations	\$ 7,650	\$ -	\$ 850	\$ 8,500
Phase 1 Environmental	\$ 2,250	\$ -	\$ 250	\$ 2,500
Project Coordination 10% - Lead Edge Design Group	\$ 1,593	\$ -	\$ 177	\$ 1,770
<b>Total Land Acquisition Services for 089 2123 015</b>	<b>\$ 17,523</b>	<b>\$ -</b>	<b>\$ 1,947</b>	<b>\$ 19,470</b>
<b>Residential - 089 2123 016</b>				
<b>Tiffany Dowda - Acquisition in Fee</b>				
Boundary Survey and Plat	\$ 4,500	\$ -	\$ 500	\$ 5,000
Appraisal	\$ 900	\$ -	\$ 100	\$ 1,000
Review Appraisal	\$ 810	\$ -	\$ 90	\$ 900
Acquisition Negotiations	\$ 7,650	\$ -	\$ 850	\$ 8,500
Phase 1 Environmental	\$ 2,250	\$ -	\$ 250	\$ 2,500
Project Coordination 10% - Lead Edge Design Group	\$ 1,611	\$ -	\$ 179	\$ 1,790
<b>Total Land Acquisition Services for 089 2123 016</b>	<b>\$ 17,721</b>	<b>\$ -</b>	<b>\$ 1,969</b>	<b>\$ 19,690</b>

Attachment: Task Order 10 - Land Acquisition Services (10461 : Task Order # 10 - Land Acquisition

**Newnan-Coweta County Airport  
Land Acquisition Services for Runway 15-33 Obstruction Removal and Primary Surface  
07.16.21**



**Runway 33 End - Land Acquisition Services**

Land Acquisition Services	ESTIMATED PROJECT COST			TOTAL COST
	Federal Share	State Share	Local Share	
<b><u>Runway 33 End</u></b>				
<b>Residential - 089 2124 001</b>				
<b>Diane Thomas - Avigation Easement</b>				
Boundary Survey and Plat	\$ 22,500	\$ -	\$ 2,500	\$ 25,000
Appraisal	\$ 4,500	\$ -	\$ 500	\$ 5,000
Review Appraisal	\$ 1,170	\$ -	\$ 130	\$ 1,300
Acquisition Negotiations	\$ 2,700	\$ -	\$ 300	\$ 3,000
Project Coordination 10% - Lead Edge Design Group	\$ 3,087	\$ -	\$ 343	\$ 3,430
<b>Total Land Acquisition Services for 089 2124 001</b>	<b>\$ 33,957</b>	<b>\$ -</b>	<b>\$ 3,773</b>	<b>\$ 37,730</b>
<b>Total Land Acquisition Services for Runway 33 End</b>	<b>\$ 87,417</b>	<b>\$ -</b>	<b>\$ 9,713</b>	<b>\$ 97,130</b>
<b>Total Land Acquisition Services Runway 15 End &amp; 33 End</b>	<b>\$ 210,375</b>	<b>\$ -</b>	<b>\$ 23,375</b>	<b>\$ 233,750</b>

Attachment: Task Order 10 - Land Acquisition Services (10461 : Task Order # 10 - Land Acquisition



## **Airport Authority**

**To:** Newnan-Coweta County Airport Authority

**From:** Calvin Walker, Airport Manager

**Date:** 8/19/2021

**RE:** Hangar Lease Agreement with the Coweta County Sheriff's Office

**Issue:** Hangar Lease Agreement with the Coweta County Sheriff's Office

**Discussion:** On August 31, 2021, the current community hangar lease between the Georgia Department of Corrections Special Operations and the Newnan-Coweta County Airport Authority for space at 300 West Aviation Way known as Hangar 300A (north half of hangar complex) will expire. The Coweta County Sheriff's Office desires to lease half of Hangar 300A (approximately 1,800 square feet) for storage of their law enforcement helicopter.

### **FINANCIAL IMPACT:**

Monthly Rent of \$525.00 and Monthly Utility Fee of \$50

**09/23/21 123457 · Airport Authority** **\$6,900.00**

Annual Rent & Utility Payments

**Recommendation:** Staff recommends that the Authority execute a Hangar Lease Agreement with the Coweta County Sheriff's Office associated with 1,800± square feet of Hangar 300A located at 300 Aviation Way.

**STATE OF GEORGIA  
COUNTY OF COWETA**

**LEASE AGREEMENT FOR COMMUNITY HANGAR  
STORAGE AT THE NEWNAN-COWETA COUNTY  
AIRPORT AUTHORITY**

This Lease Agreement is entered into and effective the 1<sup>st</sup> day of September 2021, (“Agreement”) between the NEWNAN-COWETA COUNTY AIRPORT AUTHORITY, hereinafter referred to as “Authority” or “Lessor”, a body corporate and politic existing under the STATE OF GEORGIA and the true and lawful owner of the NEWNAN-COWETA COUNTY AIRPORT, (the “Airport”), acting by and through the Airport Manager, and the Coweta County Sheriff’s Office, hereinafter referred to as “Lessee”, who covenant and agrees as follows:

**Section 1. Lease of Hangar**

Lessor hereby leases 1,800 square feet of Authority’s Hangar 300A located at 300 West Aviation Way, Newnan, GA 30263. The Hangar shall be used and only occupied by Lessee for the storage of the following described aircraft, aircraft-related equipment and storing non-aeronautical items that do not interfere with the primary aeronautical purpose of the Hangar:

Aircraft Make: Bell

Aircraft Model: 206

Aircraft Year:

Aircraft Serial Number: 70-15351

Registration No: N330DC

**Section 2. Term**

The term of the Agreement (the “Term”) shall be five (5) years, unless otherwise terminated as provided herein.

**Section 3. Rent**

- A. Lease Payments - Subject to adjustment as herein below provided, Lessee agrees to pay to Lessor, without offset or deduction, payment for the Hangar at the initial rate of Five Hundred Twenty-Five Dollars and Zero Cents (\$525.00) per month, in advance (the “Lease Payment”). The first Lease Payment shall be due and payable on or before the first day of occupancy of the Hangar, with successive payments being due and payable on the first day of each month thereafter during the Term.
- B. Adjustment of Lease Payment – Lessor reserves the right to adjust Lease Payments at any time with thirty (30) days written notice to Lessee. Hangar rental rates shall be reviewed and adjusted periodically by Lessor in order to maintain a competitive rate structure, ensure sufficient funds are available for hangar maintenance, and contribute to the airport’s federal self-sufficiency requirements as outlined in the Federal Aviation Administration (FAA) Grant Assurances for Airport Sponsors.
- C. Payment Method - All Lease Payments shall be paid as the same become due, without demand, in lawful currency of the United States, made payable to Newnan-Coweta County Airport Authority, by mail to, 115 Airport Road, Box 2, Newnan, Georgia or by hand-delivery to the aforementioned address. Payments must be postmarked prior to the due date in order to not be considered late. Should the Authority establish a method of collecting digital or electronic payments, lessee may elect to have his credit card on his Fuel-House Account charged at the beginning of every month.

- D. Late Payments - In the event Lessor fails to receive any Lease Payment on or before the tenth (10th) day of the month, a Late Payment penalty equal to ten percent (10%) of such payment shall be charged to Lessee. In the event Lessee shall remain delinquent for more than 10 days, Lessee shall be in default as described in Section 20 Default, and Lessee's rights of occupancy and/or this Agreement may be terminated by Lessor. Lessee agrees to pay all collection or attorney's fees as may be necessary to collect any and all amounts due hereunder, but not paid to Lessor.
- E. Insufficient Funds - Lessee further agrees that should any check or negotiable instrument tendered for rent payment be dishonored, returned for insufficient funds or otherwise not promptly paid to Lessor, Lessee shall promptly pay to Lessor all rents due plus a fifty dollar (\$50) handling fee, by certified check or money order payable as defined in Subsection 3C. Payment Method.
- F. Third-Party Payments - Acceptance of third-party payments by Lessor does not permit transfer of hangar lease agreement and associated rights to said third-party.
- G. Utilities – Lessee will pay \$50 per month to Lessor to cover the cost of electric and water utilities to the hangar. Lessee is responsible for trash removal.

#### **Section 4. Maintenance and Repairs to the Hangar**

Lessee agrees to accept the Hangar in an "as is" condition. The Lessor shall be responsible for all maintenance/repairs to the Hangar, including the hangar doors, except when necessitated by the negligence or willful misconduct of the Lessee, its agents, employees, or guests. In this case, the responsible party shall reimburse Airport for the cost of the repairs.

#### **Section 5. Use of the Hangar**

- A. The Hangar shall be used exclusively for the storage of the aircraft listed in Section 1, aircraft-related equipment, and storage of non-aeronautical items that do not interfere with the primary aeronautical purpose of the Hangar.
- B. Lessee will be allowed to park a single, passenger vehicle in the Hangar only at such time they are using the aircraft. At no time shall any vehicle be parked in or adjacent to the taxi-lanes in such a way that prevents other aircraft, tenants, or Airport personnel from accessing adjacent hangars.
- C. Pursuant to the most current version of FAA Order 5190.6B, Airport Compliance Manual, the lessee, with its own equipment and employees or agents, shall be allowed to perform maintenance on the Aircraft within/on the Leased Premises, provided that it is not done in a manner that would be illegal, unsafe, unsightly, or detrimental to the efficient use of the airport facilities by others. Lessee shall dispose of oil and hazardous materials in compliance with all applicable environmental regulations. At no time shall the Lessee's engines be started within the Leased Premises.
- D. Lessee shall control the conduct of its agents, employees, and guests, and those doing business within and around the Hangar and shall take all steps necessary to remove all persons who Lessor, for good and sufficient cause, deem objectionable.
- E. Lessee shall keep the Hangar clean and free of clutter and garbage.

## **Section 6. Storage of Fuels and Hazardous Materials**

- A. Lessee agrees that they will not store gasoline and other aviation fuels in the Hangar, other than fuel stored in the fuel tanks of an operational aircraft and minimal working quantities not to exceed five (5) gallons stored in an approved container. Hazardous materials shall not be stored in/on the Leased Premises. Aircraft oil may be stored in the hangar provided the quantity of such does not exceed a workable quantity for that aircraft.

Any storage of oil and fuel must meet local fire code(s) as well as environmental regulations and best practices (e.g., secondary containment) by the United States Environmental Protection Agency (EPA) and Georgia Environmental Protection Division (EPD). Increased amounts will be allowed per the discretion of the local fire marshal and Airport Management.

- B. Pursuant to NFPA 407, fueling of aircraft inside the Hangar is prohibited under any circumstances.
- C. Lessee acknowledges that hazardous operations such as fuel transfer, welding, torch cutting, torch soldering, doping, spray painting, or similar activities as may be otherwise specified in NFPA 409 are prohibited in the Hangar.

## **Section 7. Competition with FBO**

Lessee is prohibited from acting as a fixed base operator in any way. Lessee is further prohibited from selling any fuels, lubricants, other products, or services to third parties or persons without the prior written consent of the Lessor.

## **Section 8. Sublease or Assignment**

Lessee shall not sublease the Hangar or assign this Agreement. Violation of this provision will result in the immediate termination of this Agreement as described in Section 20 Default.

## **Section 9. Sale, Disposal, or Change of Aircraft**

In the event of any change in the type of aircraft or aircraft registration number, Lessee must notify Lessor of the change in writing.

In the event Lessee no longer possesses an aircraft, he will vacate the hangar within thirty days of such disposal and the hangar will be leased to another. Extensions will be considered at the discretion of Airport Management for reasonable exceptions, such as the purchasing and transport of a new aircraft, provided Lessee is completing such in an expeditious manner.

## **Section 10. LLCs, Incorporations, and Partnerships**

Lessee's aircraft may be owned by an LLC, Corporation, or Partnership, and Lease may be signed in the name of an LLC, Corporation, or Partnership by the Authorized Signatory of that organization. The Authorized Signatory of said organization shall own an equal or majority share of the aircraft listed in Section 1 Lease of Hangar. Lessee shall present all applicable contractual and legal documents of said organization to Lessor and demonstrate proof of the requirements listed herein. Lessee is prohibited from entering into an agreement as described above for the purposes of subleasing or assigning the Hangar.

## **Section 11. Airworthiness**

Lessee's aircraft must be airworthy and in condition for safe operation. Lessee shall demonstrate to Lessor within five (5) days, upon Lessor's reasonable request, that Lessee's aircraft is airworthy as defined within the most current version of FAA Order 8130.2 and in condition for safe operation. Failure to so demonstrate within five (5) days shall constitute a breach of this Agreement and grounds for immediate termination.

### **Section 12. Damaged Aircraft, Aircraft Under Construction, and Aircraft Undergoing Inspection**

Exceptions may be made to the Section 11 Airworthiness requirements for the following reasons:

(1) damaged aircraft under repair, (2) aircraft under construction, and (3) aircraft undergoing conditional inspection. In all cases, Lessee shall demonstrate and provide proof of measurable and substantial progress on a monthly basis to the satisfaction of Airport Management.

### **Section 13. Right of Inspection**

Lessee shall permit Lessor and Lessor's agents, representatives, or employees to enter into the Hangar at all reasonable times to make repairs, additions or alterations as may be necessary for the safety, improvement, or preservation of the Premises, or for inspections to ensure compliance with the Lease Agreement and the Airport Rules and Regulations. Notifications for Hangar Inspections shall be conducted in accordance with the Hangar Inspection Policy instituted by the Authority. Acceptable methods of tenant notification shall include either by phone call, text, or by email.

### **Section 14. Alterations**

Lessee covenants and agrees not to install any fixtures or make any alterations, additions or improvements to the Hangar without the prior written approval of Lessor. All fixtures installed or additions and improvements made to Hangar shall, upon completion of such additions and the improvements, become Lessor's property and shall remain in the Hangar at the termination of this Agreement, however terminated, without any compensation or payment to Lessee.

### **Section 15. Insurance**

Lessee shall provide evidence of liability insurance, at its own expense, for the benefit of itself. Liability insurance for property damage or personal injury or death, arising as a result of Lessee's occupation of the Hangar, in the amount not less than one million dollars (\$1,000,000.00) shall:

- A. Be issued by insurance companies acceptable to Lessor and licensed to do business in Georgia;
- B. Name Lessor as an additional insured or loss payee, as the case may be; and
- C. Provide for at least ten (10) days written notice to Lessor prior to cancellation or modification. Lessee shall provide Lessor with duplicate originals of all insurance policies required by this Section. Certificates of such required insurance shall be furnished by Lessee to Lessor and Certificates presently then in effect shall be on file at all times. Any changes in those certificates must have the prior written approval of Lessor.

### **Section 16. Casualty**

In the event the hangar, or the means of access thereto, shall be damaged by fire or any other cause, the rent payable hereunder shall not abate provided that the Hangar is not rendered untenable by such damages. If the Hangar is rendered untenable and Lessor elects to repair the Hangar, the rent shall abate for the period during which such repairs are being made, provided the damage was not caused by the acts or omission of Lessee, its employees, agents or invitees, in which case the rent shall not abate. If the Hangar is rendered untenable and the Lessor elects not to repair the Hangar, this Agreement shall terminate.

### **Section 17. Indemnity**

Lessee agrees to indemnify and hold Lessor, its officers and employees harmless for and against any and all claims, demands, costs and expenses, including reasonable attorney's fees for the defense of such claims and demands arising for the conduct or management of the Lessee's activities in/on the Hangar or from any act of negligence of Lessee, its agents, contractors, licensees, or negligence of Lessee, its agents,

contractors, licensees, or invitees in or about the Hangar. In case of any action or proceeding brought against Lessor by reason of any such claim, Lessee, upon notice from Lessor, agrees to defend the action or proceeding by legal counsel acceptable to Lessor.

### **Section 18. Force of Nature**

Lessor shall not be liable for its failure to perform this Agreement or any loss, injury, damage, or delay of any nature whatsoever resulting from or caused by any acts of God, fire, flood, accident, strike, labor dispute, riot, insurrection, war, pandemic, or any other cause beyond Lessor's control.

### **Section 19. Disclaimer of Liability**

Lessee hereby releases Lessor from any and all liability, whether in contract or tort (including strict liability and negligence) for any loss, damage or injury of any nature whatsoever sustained by Lessee, its employees, agents or invitees during the term of this Agreement, including but not limited to loss, damage or injury to the aircraft or other property of Lessee that may be located or stored in the Hangar, unless such loss, damage or injury is caused by Lessor's gross negligence or intentional willful misconduct. The parties hereby agree that under no circumstances shall Lessor be liable for indirect, consequential, special or exemplary damages, whether in contract or tort (including strict liability and negligence), such as, but not limited to loss of revenue or anticipated profits or other damage related to the leasing of the Hangar under this Agreement.

### **Section 20. Default**

This Agreement shall be breached due to:

- A. Failure of Lessee to pay any Monthly Rent or any other sum payable to Lessor hereunder within ten (10) days of the date that it is due.
- B. Failure of Lessee to comply with a term, condition or covenant of this Agreement other than the Monthly Rent or other sum of money, within 30 days after delivery of written notice thereof to Lessee.
- C. A petition is filed by or against Lessee under the Bankruptcy Act or any amendment thereto including a petition for reorganization or an arrangement, or Lessee assigns his/her property for the benefit of creditors.
- D. In the event of any breach of this Agreement by Lessee, Lessor shall, at its option, and without further notice, have the right to terminate this Agreement and to remove the aircraft and any other property of Lessee from the Hangar using such force as may be reasonably necessary, without being deemed guilty of trespassing, breach of peace or forcible entry and detainer, and Lessee expressly waives the service of any notice. Exercise by Lessor of either or both of the rights specified above shall not prejudice Lessor's right to pursue any other remedy available to Lessor in law or equity.

In the event of default continuing for ninety (90) days due to the nonpayment of Monthly Rent specified herein, Lessor may take possession of and sell all fixtures, chattels and personal property of every kind and description now or hereafter to be placed, installed or stored by Lessee in the Hangar, and said sale may be in any manner prescribed by law with Lessor crediting the net proceed upon any indebtedness due to damage or sustained by Lessor, without prejudice to further claims to arise later under the terms of this Agreement.

### **Section 21. Airport Rules and Regulations**

Lessee agrees to abide by all Airport Rules and Regulations, as amended, which are incorporated herein by reference. A copy of the current Airport Rules and Regulations may be obtained from the Airport Manager's office. Use of the assigned hangar space, the airport premises, and runways is subject to the Federal Aviation



Regulations (FARs) and other applicable state, local, and other federal laws pertaining to the operation of public airports and surrounding airspace.

**Section 22. Governing Law**

This Agreement shall be controlled and governed by the laws of the State of Georgia. Any dispute arising out of or in any way related to this agreement shall be submitted to the Magistrate, State or Superior Court of Coweta County and Lessee expressly consents to venue and jurisdiction therein.

**Section 23. Relationship of Parties**

The relationship between Lessor and Lessee shall, always and only, be that of Lessor and Lessee. Lessee shall never at any time during the term of this Agreement become the agent of Lessor, and Lessor shall not be responsible for the acts of omission of Lessee, its employees or agents.

**Section 24. Remedies Cumulative**

The rights and remedies with respect to any of the terms and conditions of the Agreement shall be cumulative, exclusive, and shall be in addition to all other rights and remedies available to either party in law or equity.

**Section 25. Notices**

All notices or requests required or permitted to be given pursuant to this Agreement shall be in writing and deemed to have been properly given or served and shall be effective on being deposited in the United States mail, postage prepaid and registered, or certified with return receipt requested to the addresses shown below.

An exception for notices regarding Lessee’s change of address or aircraft information is permitted by email. Such notices must be sent to the following address to be considered as received. Additionally, an email notice is only deemed to be received after the sender (Lessee) receives a reply, not including an automated message that the email has been delivered.

Email Notices: [kcconotices@coweta.ga.us](mailto:kcconotices@coweta.ga.us)

Lessee:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Emergency Contact Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Lessor:

Newnan-Coweta Airport Authority  
Attn: Airport Manager  
115 Airport Road, Box 2  
Newnan, Georgia 30263

Attachment: DRAFT Sheriff Hangar Lease (10473 : Lease with the Coweta County Sheriff's Office)

**Section 26. Paragraph Headings**

The headings to the paragraphs in this Agreement are solely for convenience and may have no substantive effect on the Agreement, nor are they intended to aid in the interpretation of this Agreement.

**Section 27. Integration**

This Agreement constitutes the entire Agreement between the parties, and, as of its effective date, supersedes all prior independent agreements between the parties related to the leasing of the Hangar. Any changes or modification hereof must be in writing signed by both parties.

**Section 28. Waiver**

The waiver by either party of any covenant or condition of this Agreement shall not thereafter preclude such party from demanding performance in accordance with the terms hereof.

**Section 29. Successors Bound**

This Agreement shall be binding on and shall insure to the benefit of the heirs, legal representatives, successors and assigns of the parties hereto.

**Section 30. Severability**

If a provision hereof shall be finally declared void or illegal by any court or administrative agency having jurisdiction over the parties to this Agreement, the entire Agreement shall not be void, but the remaining provisions shall continue in effect as nearly as possible in accordance with the original intent of parties.

**Section 31. Taxes and Fees**

Lessee agrees to pay, in addition to the Monthly Rent provided herein, all applicable personal property taxes or any other taxes which Lessee may be required by law to pay. Lessee shall present proof of local property taxes paid upon demand from Lessor.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement.

Signed, sealed and delivered NEWNAN COWETA COUNTY AIRPORT AUTHORITY by Newnan Coweta County Airport Authority the presence of:

\_\_\_\_\_  
Unofficial Witness

BY: \_\_\_\_\_  
Chairman

\_\_\_\_\_  
Notary Public  
Commission Expires: \_\_\_\_\_  
(SEAL)

ATTESTED  
BY: \_\_\_\_\_

LESSEE

Signed, sealed and delivered  
by LESSEE  
In the presence of:

COWETA COUNTY SHERIFF'S OFFICE

\_\_\_\_\_  
Unofficial Witness

By: \_\_\_\_\_

\_\_\_\_\_  
Notary Public  
Commission Expires: \_\_\_\_\_  
(SEAL)

Its: \_\_\_\_\_

Print name: \_\_\_\_\_

Corporate Seal

Attachment: DRAFT Sheriff Hangar Lease (10473 : Lease with the Coweta County Sheriff's Office)

**EXHIBIT A (OPTIONAL)  
ADDITIONAL AIRCRAFT**

Aircraft Make: \_\_\_\_\_

Aircraft Model: \_\_\_\_\_

Aircraft Year: \_\_\_\_\_

Aircraft Serial Number: \_\_\_\_\_

Registration No: \_\_\_\_\_

DRAFT

Attachment: DRAFT Sheriff Hangar Lease (10473 : Lease with the Coweta County Sheriff's Office)



## **Airport Authority**

**To:** Newnan-Coweta County Airport Authority

**From:** Calvin Walker, Airport Manager

**Date:** 8/18/2021

**RE:** Request from Hale Aircraft Real Estate, LLP to Modify Existing Hangar

---

**Issue:** Request from Hale Aircraft Real Estate, LLP to Modify Existing Hangar

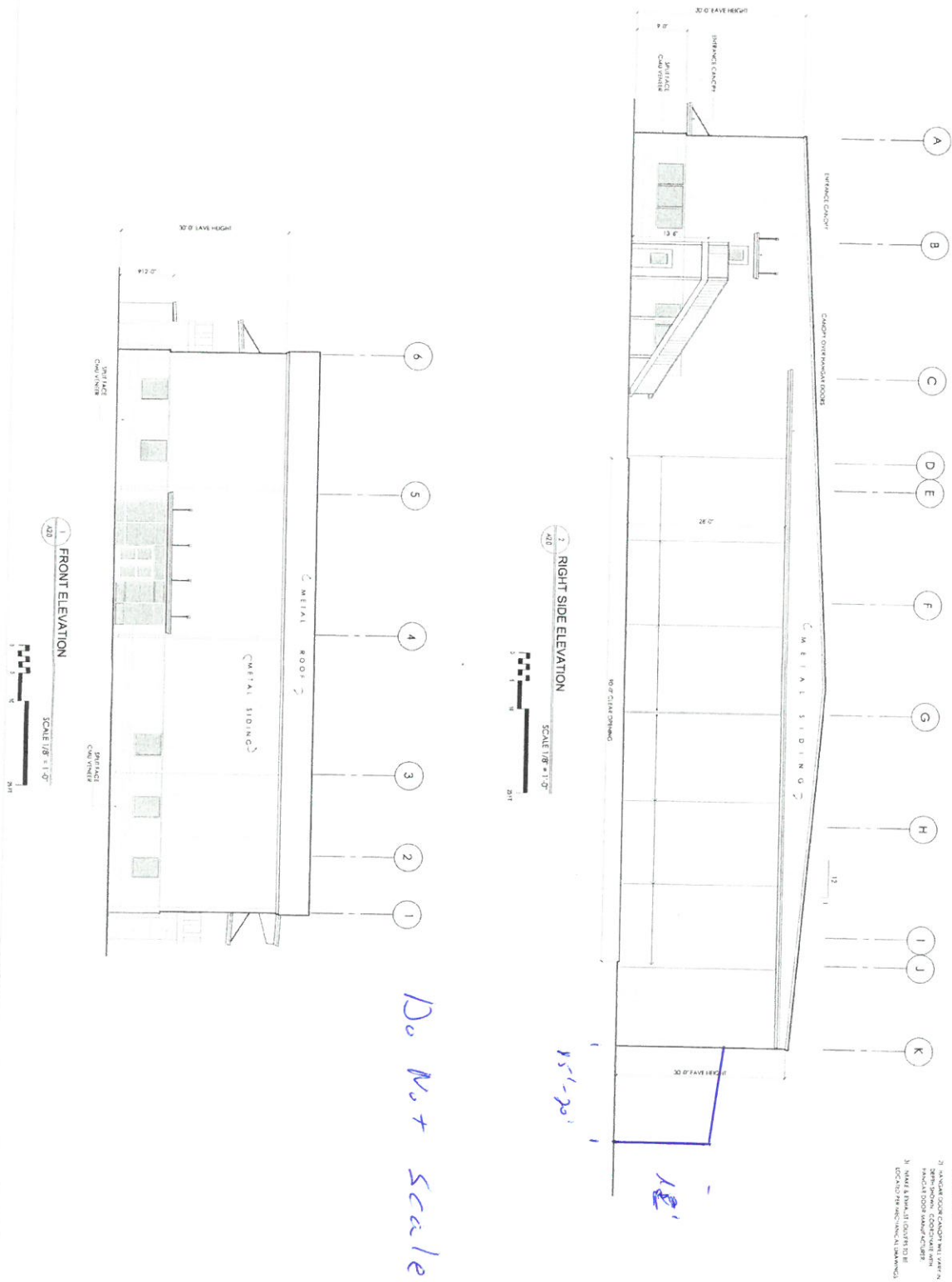
**Discussion:** Hale Aircraft is requesting to add a 20-foot by 100-foot attached storage area to their existing 12,000 square feet hangar. Section 5.4 of the existing land lease reads "Plans and specifications for all major repairs, constructions, alterations, modifications, additions or replacements (hereinafter referred to as "improvements"), including, without limitation any new facility to be constructed by the Lessee undertaken by the Lessee shall be submitted to and receive the written approval of the Authority, and no such work shall be commenced until such written approvals are obtained from the Authority, which approval shall not be unreasonably withheld or delayed. Authority shall advise Lessee within thirty (30) days after receipt of the written request, together with copies of the plans and specifications for the proposed improvements in sufficient detail to make a proper review thereof, of its approval or disapproval of the proposed work, and in the event it disapproves, stating its reasons therefor."

### **FINANCIAL IMPACT:**

NA

**Recommendation:** Staff recommends that the Authority allow Hale Aircraft Real Estate, LLC to modify its existing hangar subject to the condition that the improvement meets and follows the Minimum Development Standards for Corporate Hangars adopted by the Airport Authority in 2015.

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GENERAL NOTES:  
1. FINISH MATERIALS TO BE DETERMINED BY ARCHITECT.  
2. HANGAR DOOR CANNOT BE OPENED FROM INSIDE.  
3. HANGAR & METAL SIDING TO BE CONSTRUCTED BY SPECIAL CONTRACTOR.

28121 Project Number	Falcon Aviation Newnan, GA	Date	Description
A2.0	Exterior Elevations printed for pricing		

Date: 06/04/2008 Drawn: SJH Checked: WMM

**CROFT & Associates PC**  
3104 Creechside Village Drive Suite 203  
Atlanta, GA 30328  
770.529.7714 (p) 770.529.7716 (f)  
www.croftandassociates.com

Attachment: Hangar Extension Sketch (10467 : Hale Aircraft Real Estate, LLP Building Modification Request)

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- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
  2. ALL DOOR READING SHALL BE TO THE RIGHT UNLESS OTHERWISE NOTED.
  3. WALLS UNLESS SPECIFIED SHALL BE 1/2" THICK CONCRETE BLOCK WITH INTERIOR FINISHES AS NOTED.
  4. ALL ROOMS SHALL BE FINISHED WITH 1/2" THICK CONCRETE BLOCK WITH INTERIOR FINISHES AS NOTED.
  5. ALL FLOOR FINISHES SHALL BE AS NOTED.
- KEYED NOTES:**
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28121 Falcon Aviation  
Newnan, GA

A1.0 First Floor Plan  
printed for pricing

Date	Description
06.04.2008	Drawn: SJH Checked: WMM

**CROFT & Associates, P.C.**  
3104 Clematisse Village Drive Suite 203  
Kennesaw, GA 30144  
770.529.7714 (p) 770.529.7716 (f)  
www.croftandassociates.com

Attachment: Hangar Extension Sketch (10467 : Hale Aircraft Real Estate, LLP Building Modification Request)

**GENERAL NOTES:**

1. MATERIALS	ASTM DESCRIPTION
STRUCTURAL STEEL PLATE	A529 / A572 / A1011
HOT ROLLED MILL SHAPES	A36 / A529 / A500
HHS ROUND	A500
HHS RECTANGULAR	A500
COLD FORM SHAPES	A653 / A1011
ROOF AND WALL SHEETING	A653 / A792
BOLTS	A307 / A325 / A490
CABLE	A475
RODS	A529 / A572

**2. STRUCTURAL PRIMER NOTE:**

SHOP COAT PRIMER IS INTENDED TO PROTECT THE STEEL FRAMING FOR A SHORT PERIOD OF TIME. STORAGE IN EXTREME COLD TEMPERATURES OR WINTER SNOW CONDITIONS, INCLUDING TRANSPORTATION ON SALTED OR CHEMICALLY TREATED ROADS WILL ADVERSELY AFFECT THE DURABILITY AND LONGEVITY OF THE PRIMER. THE COAT OF SHOP PRIMER DOES NOT PROVIDE THE UNIFORMITY OF APPEARANCE, OR THE DURABILITY AND CORROSION RESISTANCE OF A FIELD APPLIED FINISH COAT OF PAINT OVER A SHOP PRIMER. MINOR ABRASIONS TO THE SHOP COAT PRIMER CAUSED BY HANDLING, LOADING, SHIPPING, UNLOADING AND ERECTION ARE UNAVOIDABLE AND ARE NOT THE RESPONSIBILITY OF THE METAL BUILDING MANUFACTURER. METAL BUILDING MANUFACTURER IS NOT RESPONSIBLE FOR THE DETERIORATION OF THE PRIMER OR CORROSION THAT MAY RESULT FROM ATMOSPHERIC AND ENVIRONMENTAL CONDITIONS NOR THE COMPATIBILITY OF THE PRIMER TO ANY FIELD APPLIED COATING.

**3. BUILDING ERECTION NOTES:**

THE GENERAL CONTRACTOR AND/OR ERECTOR IS RESPONSIBLE TO SAFELY AND PROPERLY ERECT THE METAL BUILDING SYSTEM IN CONFORMANCE WITH THESE DRAWINGS, OSHA REQUIREMENTS, AND EITHER MBMA OR CSA S16 STANDARDS PERTAINING TO PROPER ERECTION. TEMPORARY SUPPORTS SUCH AS GUYS, BRACES, FALSEWORK, CRIBBING OR OTHER ELEMENTS FOR ERECTION ARE TO BE DETERMINED, FURNISHED AND INSTALLED BY THE ERECTOR. THESE SUPPORTS MUST SECURE THE STEEL FRAMING, OR PARTLY ASSEMBLED STEEL FRAMING, AGAINST LOADS COMPARABLE IN INTENSITY TO THOSE FOR WHICH THE STRUCTURE WAS DESIGNED IN ADDITION TO LOADS RESULTING FROM THE ERECTION OPERATION. SECONDARY WALL AND ROOF FRAMING (PURLINS, GIRTS AND/OR JOIST) ARE NOT DESIGNED TO FUNCTION AS A WORKING PLATFORM OR TO PROVIDE AS AN ANCHORAGE POINT FOR A FALL ARREST /SAFETY TIE OFF.

**4. SPECIAL INSPECTION:**

SPECIAL INSPECTIONS AND TESTING THAT MAY BE REQUIRED BY GOVERNMENTAL OR OTHER AUTHORITY DURING CONSTRUCTION AND/OR STEEL FABRICATION (COLLECTIVELY, "INSPECTIONS") ARE NOT THE RESPONSIBILITY OF THE PEMB MANUFACTURER, AND TO THE EXTENT REQUIRED IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE. IN THE EVENT INSPECTIONS ARE REQUIRED, THE OWNER AND/OR THE OWNER'S REPRESENTATIVE SHALL EMPLOY A THIRD PARTY QUALITY ASSURANCE TESTING AGENCY APPROVED BY THE RELEVANT AUTHORITY. IF SUCH REQUIREMENTS ARE NOT SPECIFICALLY INCLUDED IN THE PEMB MANUFACTURER'S SALES DOCUMENTS, NO INSPECTIONS BY THE PEMB MANUFACTURER OR AT THE PEMB MANUFACTURER'S FACILITY SHALL BE MADE. THE PEMB MANUFACTURER'S FACILITIES ARE ACCREDITED BY IAS AC472.

**5. A325 & A490 BOLT TIGHTENING REQUIREMENTS:**

IT IS THE RESPONSIBILITY OF THE ERECTOR TO ENSURE PROPER BOLT TIGHTNESS IN ACCORDANCE WITH APPLICABLE REGULATIONS. FOR PROJECTS IN THE UNITED STATES, SEE THE RSCC SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS OR FOR PROJECTS IN CANADA, SEE THE CAN/CSA S16 LIMIT STATES DESIGN OF STEEL STRUCTURES FOR MORE INFORMATION.

THE FOLLOWING CRITERIA MAY BE USED TO DETERMINE THE BOLT TIGHTNESS (I.E., "SNUG-TIGHT" OR "FULLY-PRE-TENSIONED"), UNLESS REQUIRED OTHERWISE BY LOCAL JURISDICTION OR CONTRACT REQUIREMENTS:

- A) ALL A490 BOLTS SHALL BE "FULLY-PRE-TENSIONED".
- B) ALL A325 BOLTS IN PRIMARY FRAMING (RIGID FRAMES AND BRACING) MAY BE "SNUG-TIGHT", EXCEPT AS FOLLOWS: "FULLY-PRE-TENSION" A325 BOLTS IF:
  - a) BUILDING SUPPORTS A CRANE SYSTEM WITH A CAPACITY GREATER THAN 5 TONS.
  - b) BUILDING SUPPORTS MACHINERY THAT CREATES VIBRATION, IMPACT, OR STRESS-REVERSALS ON THE CONNECTIONS. THE ENGINEER-OF-RECORD FOR THE PROJECT SHOULD BE CONSULTED TO EVALUATE FOR THIS CONDITION.
  - c) THE PROJECT SITE IS LOCATED IN A HIGH SEISMIC AREA. FOR IBC-BASED CODES, "HIGH SEISMIC AREA" IS DEFINED AS "SEISMIC DESIGN CATEGORY" OF 'D', 'E', OR 'F'. SEE THE "BUILDING LOADS" SECTION ON THIS PAGE FOR THE DEFINED SEISMIC DESIGN CATEGORY FOR THIS PROJECT.
  - d) ANY CONNECTION DESIGNATED IN THESE DRAWINGS AS "A325-SC". "SLIP-CRITICAL (SC)" CONNECTIONS MUST BE FREE OF PAINT, OIL, OR OTHER MATERIALS THAT REDUCE FRICTION AT CONTACT SURFACES. GALVANIZED OR LIGHTLY-RUSTED SURFACES ARE ACCEPTABLE.
- C) IN CANADA, ALL A325 AND A490 BOLTS SHALL BE "FULLY-PRE-TENSIONED", EXCEPT FOR SECONDARY MEMBERS (PURLINS, GIRTS, OPENING FRAMING, ETC.) AND FLANGE BRACES.

SECONDARY MEMBERS (PURLINS, GIRTS, OPENING FRAMING, ETC.) AND FLANGE BRACE CONNECTIONS MAY ALWAYS BE "SNUG-TIGHT", UNLESS INDICATED OTHERWISE IN THESE DRAWINGS.

**6. GENERAL DESIGN NOTES:**

- 1) ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS ARE DESIGNED IN ACCORDANCE WITH ANSI/AISC 360 "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" OR THE CAN/CSA S16 "LIMIT STATES DESIGN OF STEEL STRUCTURES", AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- 2) ALL WELDING OF STRUCTURAL STEEL IS BASED ON EITHER AWS D1.1 "STRUCTURAL WELDING CODE - STEEL" OR CAN/CSA W59 "WELDED STEEL CONSTRUCTION (METAL ARC WELDING)", AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- 3) ALL COLD FORMED MEMBERS ARE DESIGNED IN ACCORDANCE WITH ANSI/AISI S100 OR CAN/CSA S136 "SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS", AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- 4) ALL WELDING OF COLD FORMED STEEL IS BASED ON AWS D1.3 "STRUCTURAL WELDING CODE - SHEET STEEL" OR CAN/CSA W59 "WELDED STEEL CONSTRUCTION (METAL ARC WELDING)", AS REQUIRED BY THE SPECIFIED BUILDING CODE.
- 5) ALL NUCOR BUILDING GROUP FACILITIES ARE IAS AC-472 ACCREDITED FOR DESIGN AND FABRICATION OF METAL BUILDING SYSTEMS. FOR PROJECTS IN CANADA, DESIGN AND FABRICATION ARE DONE ONLY IN FACILITIES THAT ARE ALSO CAN/CSA A660 AND W47.1 CERTIFIED.
- 6) IF JOISTS ARE INCLUDED WITH THIS PROJECT, THEY ARE SUPPLIED AS A PART OF THE SYSTEMS ENGINEERED METAL BUILDING AND ARE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1926.758 OF THE OSHA SAFETY STANDARDS FOR STEEL ERECTION, DATED JANUARY 18, 2001.
- 7) COLUMN BASE PLATES ARE DESIGNED NOT TO EXCEED THE ALLOWABLE BEARING STRESS OF CONCRETE THAT HAS A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.

**BUILDING INFORMATION**

**PRIMER COLORS**

PRIMARY PRIMER COLOR: RED SECONDARY PRIMER COLOR: RED

**ROOF SHEETING**

TYPE: L3P GAUGE: 26 FINISH: GALVALUME PLUS CLIP TYPE: N/A  
 THERMAL BLOCKS: N/A EPS FOAM SPACER: N/A ROOF LINE TRIM, PAINTED: TBS  
 YES  NO  DOWNSPOUTS PAINTED: TBS GUTTERS PAINTED: TBS  
 YES  NO  INSULATION 4 INCH (BY MBS)  
 YES  NO  PIPE JACKS, SIZE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_  
 YES  NO  RIDGE VENTS, 10'-0" LONG X 9" THROAT. QUANTITY: \_\_\_\_\_  
 YES  NO  ROOF FRAMED OPENINGS, SEE ROOF FRAMING PLAN FOR SIZES  
 YES  NO  COMPOSITE N/A DECK, TYPE: N/A GAUGE: \_\_\_\_\_ FINISH: \_\_\_\_\_

**WALL SHEETING**

TYPE: L3P GAUGE: 26 FINISH: TBS  
 CORNER TRIM, PAINTED: TBS BASE TRIM, PAINTED: TBS  
 YES  NO  WALKDOORS, QUANTITY: \_\_\_\_\_ PAINTED: \_\_\_\_\_  
 YES  NO  WINDOWS, QUANTITY: \_\_\_\_\_ PAINTED: \_\_\_\_\_  
 YES  NO  INSULATION 4 INCH (BY MBS)

**WALL FRAMED OPENINGS**

YES  NO  FRAMED OPENING TRIM, PAINTED: TBS  
 SIZES: FSW: none \_\_\_\_\_  
 BSW: none \_\_\_\_\_  
 LEW: (1) 9'-0" W x 9'-0" H \_\_\_\_\_  
 REW: (1) 9'-0" W x 9'-0" H \_\_\_\_\_

**BUILDING OPTIONS**

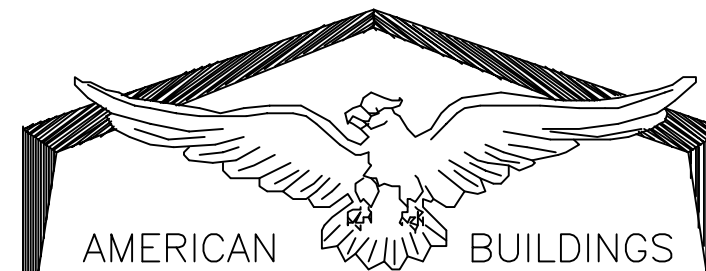
YES  NO  LINER PANELS  
 FRAMED OPENING TRIM, PAINTED: \_\_\_\_\_  
 WALL: TYPE: \_\_\_\_\_ GAUGE: \_\_\_\_\_ FINISH: \_\_\_\_\_ WALL TRIM, PAINTED: \_\_\_\_\_  
 CEILING: TYPE: \_\_\_\_\_ GAUGE: \_\_\_\_\_ FINISH: \_\_\_\_\_  
 YES  NO  TRANSLUCENT PANELS  
 WALL: \_\_\_\_\_  
 ROOF: \_\_\_\_\_  
 INSULATED PANELS? YES  NO   
 YES  NO  EAVE EXTENSION  
 PROJ: \_\_\_\_\_ TYPE: \_\_\_\_\_ GAUGE: \_\_\_\_\_ FINISH: \_\_\_\_\_ SOFFIT TRIM AT BUILDING LINE PAINTED: \_\_\_\_\_  
 YES  NO  RAKE EXTENSION  
 PROJ: \_\_\_\_\_ TYPE: \_\_\_\_\_ GAUGE: \_\_\_\_\_ FINISH: \_\_\_\_\_ SOFFIT TRIM AT BUILDING LINE PAINTED: \_\_\_\_\_  
 YES  NO  CANOPY  
 AT EAVE LINE  BELOW EAVE  PROJECTION: \_\_\_\_\_ CLEAR UNDER CANOPY BEAM: \_\_\_\_\_  
 ROOF PANEL: TYPE: \_\_\_\_\_ GAUGE, FINISH: \_\_\_\_\_  
 SOFFIT PANEL: TYPE: \_\_\_\_\_ GAUGE, FINISH: \_\_\_\_\_ SOFFIT TRIM AT BUILDING LINE PAINTED: \_\_\_\_\_  
 YES  NO  PARTITION WALLS  
 WALL PANEL: TYPE: \_\_\_\_\_ GAUGE, FINISH: \_\_\_\_\_ TRIM PAINTED: \_\_\_\_\_  
 YES  NO  WAINSCOT  
 WALL PANEL: TYPE: \_\_\_\_\_ GAUGE, FINISH: \_\_\_\_\_  
 BASE TRIM PAINTED: \_\_\_\_\_ JAMB TRIM PAINTED: \_\_\_\_\_ TRANSITION TRIM PAINTED: \_\_\_\_\_  
 YES  NO  FASCIA  
 PROJ: \_\_\_\_\_ TOP OF FASCIA HEIGHT: \_\_\_\_\_  
 FACE PANEL, TYPE: \_\_\_\_\_ GAUGE, FINISH: \_\_\_\_\_ CAP TRIM PAINTED: \_\_\_\_\_  
 BACK PANEL, TYPE: \_\_\_\_\_ GAUGE, FINISH: \_\_\_\_\_ BASE TRIM PAINTED: \_\_\_\_\_  
 CLOSED SYSTEM, CLEAR UNDER SOFFIT TRIM: \_\_\_\_\_  
 SOFFIT PANEL, TYPE: \_\_\_\_\_ GAUGE, FINISH: \_\_\_\_\_ SOFFIT TRIM AT BUILDING LINE PAINTED: \_\_\_\_\_  
 OPEN SYSTEM, (NO SOFFIT PANEL PROVIDED) CLEAR UNDER SOFFIT TRIM: \_\_\_\_\_  
 YES  NO  PARAPET  
 STRUCTURAL PARAPET  NON-STRUCTURAL PARAPET TOP OF PARAPET HEIGHT: \_\_\_\_\_  
 BACK PANEL, TYPE: \_\_\_\_\_ GAUGE, FINISH: \_\_\_\_\_  
 YES  NO  CRANES (SEE CRANE PLAN FOR ADDITIONAL INFORMATION)  
 YES  NO  MEZZANINE (SEE MEZZANINE PLAN FOR ADDITIONAL INFORMATION)

SEE C-2 FOR DESIGN NOTES

THE DRAWINGS AND THE METAL BUILDING THEY REPRESENT ARE THE PRODUCT OF THE METAL BUILDING MANUFACTURER. THE REGISTERED PROFESSIONAL ENGINEER'S SEAL PERTAINS ONLY TO THE REQUIREMENTS LISTED HEREIN FOR THE MATERIALS DESIGNED AND SUPPLIED BY THE METAL BUILDING MANUFACTURER. THE REGISTERED PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS IS EMPLOYED OR ENGAGED BY THE METAL BUILDING MANUFACTURER AND DOES NOT SERVE AS OR REPRESENT THE PROJECT ENGINEER OF RECORD AND SHALL NOT BE CONSTRUED AS SUCH.

**7. GLOSSARY OF ABBREVIATIONS:**

A.B. = ANCHOR BOLTS	MAX = MAXIMUM	REQ'D = REQUIRED
BS = BOTH SIDES	M.B. = MACHINE BOLTS	REV. = REVISION
B.U. = BUILT-UP	MBS = METAL BUILDING SUPPLIER	SIM = SIMILAR
DIA = DIAMETER	TBD = TO BE DETERMINED	SL = STEEL LINE
FLG = FLANGE	N/A = NOT APPLICABLE	N.S. = NEAR SIDE
F.S. = FAR SIDE	NIC = NOT IN CONTRACT	MIN = MINIMUM
GA. = GAUGE	SLV = SHORT LEG VERTICAL	TYP = TYPICAL
H.S.B. = HIGH STRENGTH BOLTS	O.A.L. = OVERALL LENGTH	U.N.O. = UNLESS NOTED OTHERWISE
HT. = HEIGHT	O.C. = ON CENTER	PEMB = PRE-ENGINEERED METAL BUILDING MANUFACTURER
LLV = LONG LEG VERTICAL	U.N.O. = UNLESS NOTED OTHERWISE	?? = PART MARK TO BE DETERMINED AND WILL BE UPDATED ON CONSTRUCTION DRAWINGS



**BUILDING LOADS**

DESIGN CODE: GEORGIA (GSBC 2020)  
 ROOF LIVE LOAD: 20.00 PSF MBMA OCC. CLASS: II  
 LIVE LOAD REDUCIBLE Yes  
 GROUND SNOW LOAD: 5.00 PSF SNOW EXP. FACTOR, Ce: 1.00  
 SNOW IMPORTANCE FACTOR, Is: 1.00  
 100 YEAR RAINFALL INTENSITY (IN/HR): 8.00  
 WIND: 106 / 82 MPH  
 (Vult) / (Vasd)  
 C & C PRESSURES (PSF): 22 / -30  
 EXPOSURE: C  
 UL 90 NO  
 L3P Roof-Const. No.161 ; L3P Roof w/ Translucent Panel-Const. No.167  
 S3P Roof-Const. No.552 ; S3P Roof w/ Translucent Panel-Const. No.590 ;  
 Composite CFR Roof-Const. No.552A ; N/A Roof-Const. No. \_\_\_\_\_  
 SEISMIC INFORMATION Ss: 0.159 S1: 0.082  
 Design Sds/Sd1: 0.170 / 0.131 Site Class: D  
 Seismic Imp. Factor: 1.00 Seismic Design Category: B  
 Analysis Procedure: Equivalent Lateral Force Method  
 Basic SFRS: Not Detailed for Seismic

**NOTES:**

- 1) COLLATERAL DEAD LOADS, UNLESS OTHERWISE NOTED, ARE ASSUMED TO BE UNIFORMLY DISTRIBUTED. WHEN SUSPENDED SPRINKLER SYSTEMS, LIGHTING, HVAC EQUIPMENT, CEILINGS, ETC., ARE SUSPENDED FROM ROOF MEMBERS, CONSULT THE M.B.S. IF THESE CONCENTRATED LOADS EXCEED 500 POUNDS (USING THE WEB MOUNT DETAIL) OR 200 POUNDS (USING THE FLANGE MOUNT DETAIL), OR IF INDIVIDUAL MEMBERS ARE LOADED SIGNIFICANTLY MORE THAN OTHERS.
- 2) THE DESIGN OF STRUCTURAL MEMBERS SUPPORTING GRAVITY LOADS IS CONTROLLED BY THE MORE CRITICAL EFFECT OF ROOF LIVE LOAD OR ROOF SNOW LOAD, AS DETERMINED BY THE APPLICABLE CODE.
- 3) Pm IS BASED ON THE MINIMUM ROOF SNOW LOAD CALCULATED PER BUILDING CODE OR THE CONTRACT SPECIFIED SNOW LOAD, WHICHEVER IS GREATER. THIS VALUE, Pm, IS ONLY APPLIED IN COMBINATION WITH THE DEAD AND COLLATERAL LOADS. ROOF SNOW IN OTHER LOADING CONDITIONS IS DETERMINED PER THE SPECIFIED BUILDING CODE.

BUILDING	
ROOF DEAD (PSF):	3.0
ROOF SNOW Pm (PSF):	5.00
PRI. COL. (PSF):	5.0
SEC. COL. (PSF):	5.0
SNOW Ct:	1.2
SNOW Cs:	1.00
ROOF SNOW Ps (PSF):	4.20
WIND ENCLOSURE:	Closed
GCpi:	±0.18
SEISMIC R:	3.00
SEISMIC Cs:	0.057
BASE SHEAR (KIPS):	1.2

**DRAWING INDEX**

COVERSHEET C-1, C-2  
 ANCHOR BOLT DRAWINGS AB-1, AB-2  
 COLUMN BASE REACTIONS AB-3  
 STRUCTURAL/SHEETING DRAWINGS E-01 ~ E-07  
 DETAILS \_\_\_\_\_



6.9.21

DATE	6/2/2021	4.b
TYPE	RHB	
ENG	RHB	
CHK	ERW	
OWN	LC	
ISSUE		
ANCHOR BOLT PERMITS		
PROJECT NAME	HALE AVIATION R1	
CUSTOMER NAME	95 E AVIATION WAY, NEWNAN, GA 30264	
JOB NUMBER	GAPCO INDUSTRIES HAMPTON, GA 30228	
SHEET TITLE	SHEET	
Attachment: A21L0721A-Steel draw (10467 : Hale Aircraft Real Estate, LLP Building Modification Request)		
Packet Pg. 24		



For Occupancy (Risk) Category I or II, IBC provisions indicate that single-story buildings shall have "no drift limit" provided that interior walls, partitions, ceilings and exterior wall systems have been designed to accommodate the seismic story drifts. Interior walls, partitions, ceilings or exterior wall systems not provided by the metal building manufacturer shall be designed and detailed by others to accommodate the seismic story drifts. Seismic drift values may be obtained from the metal building manufacturer.

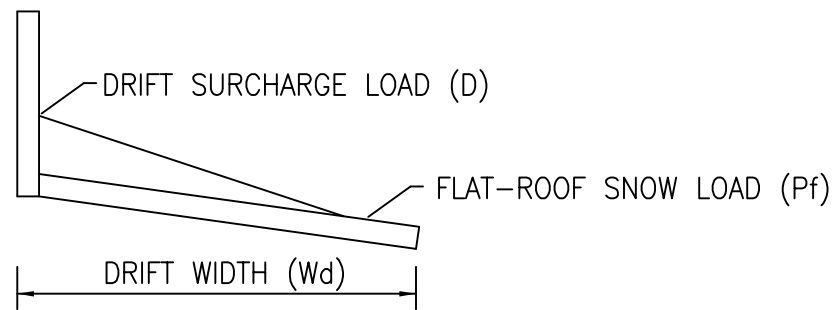
This Building System design is based on uniformly applying the contract-specified live load and roof snow load. In addition, the design is based on applying a code-defined live load (including applicable reductions) and a code-defined snow load (based on contract-specified ground snow) for all partial loading and unbalanced snow load conditions.

If snow guards or other devices intended to hold snow and/or ice accumulation on the roof system are to be used on this project, they must be installed under the guidance of the project "Engineer of Record" (EOR), not the metal building manufacturer, so as not to exceed the design roof snow load on this project.

Accessories (doors, windows, etc.) not provided by the metal building manufacturer must be designed as "components and cladding" in accordance with the specific wind provisions of the referenced building code displayed on the cover page of this drawing packet.

Framed openings have been designed to support wind load normal to the wall based on the standard building code criteria. Framed openings have not been designed for any additional moment or catenary forces from the door. Any change to the information shown here will require an engineering investigation and possible building reinforcement.

THE BUILDING CODE REQUIRES CONSIDERATION OF SNOW SURCHARGES FOR ANY LOWER ROOF OF A STRUCTURE WITHIN 20 ft. OF A HIGHER STRUCTURE. INFORMATION PROVIDED TO THE METAL BUILDING MANUFACTURER INDICATES SNOW SURCHARGES MUST BE CONSIDERED IN THE METAL BUILDING DESIGN AS SHOWN BELOW.



THE CONDITIONS AT THE FOLLOWING LOCATIONS PRODUCE DRIFT SURCHARGE LOADS:

1. LOCATION: LN A D(psf): 40.0 Pf(psf): 4.2 Wd(ft): 10.7
2. LOCATION: \_\_\_\_\_ D(psf): \_\_\_\_\_ Pf(psf): \_\_\_\_\_ Wd(ft): \_\_\_\_\_
3. LOCATION: \_\_\_\_\_ D(psf): \_\_\_\_\_ Pf(psf): \_\_\_\_\_ Wd(ft): \_\_\_\_\_
4. LOCATION: \_\_\_\_\_ D(psf): \_\_\_\_\_ Pf(psf): \_\_\_\_\_ Wd(ft): \_\_\_\_\_



DATE	6/2/2021	TYPE	RHB	ENG	RHB	CHK	ERW
ISSUE	ANCHOR BOLT	LC					
PROJECT NAME		7200 N. LAKE DRIVE STE. 200 COLUMBUS, GA 31909 PHONE: (706) 562-8020 FAX: (706) 562-8017					
HALE AVIATION R1		95 E AVIATION WAY, NEWNAN, GA 30264					
CUSTOMER NAME		GAPCO INDUSTRIES HAMPTON, GA 30228					
JOB NUMBER		SHEET TITLE					
		Attachment: A21L0721A-Steel draw (10467 : Hale Aircraft Real Estate, LLP Building Modification Request)					
		4.b					

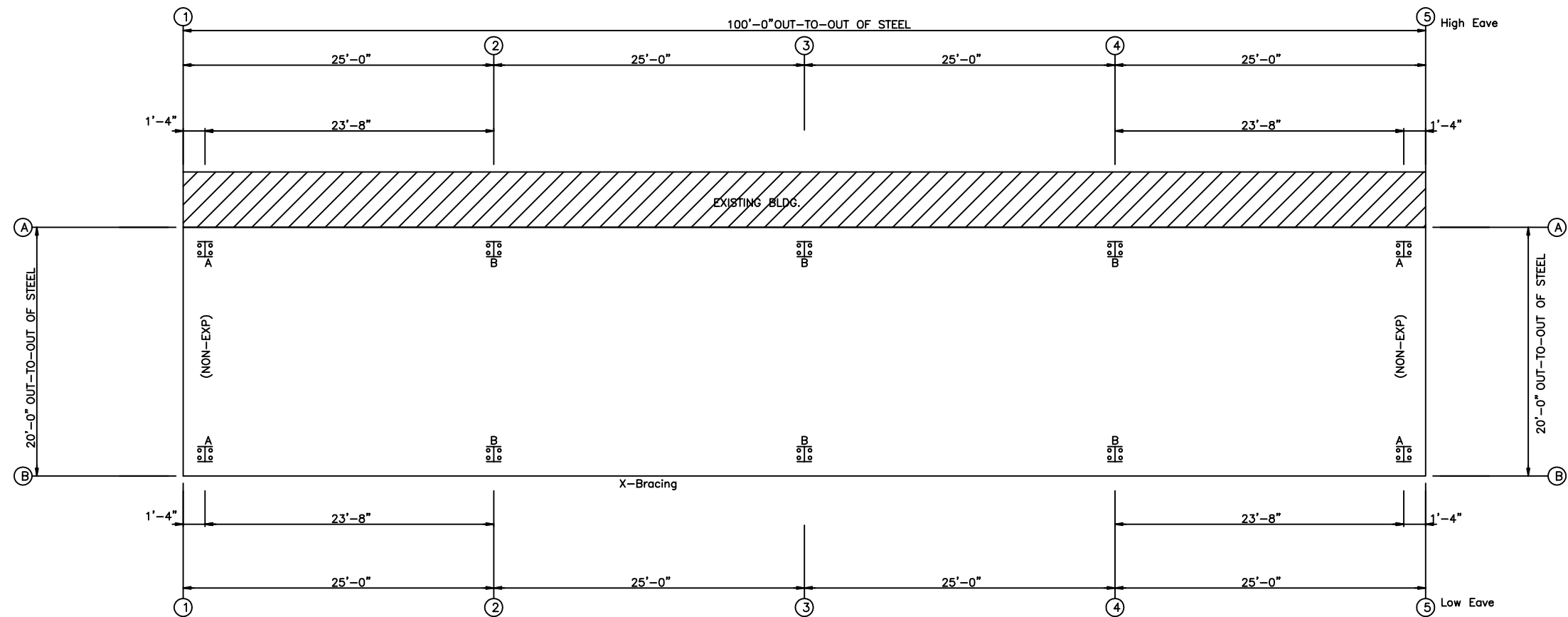
DATE	6/2/2021
PREPARED BY	RHB
ENGINEER	RHB
CHECKED BY	ERW
DESIGNED BY	LC
ISSUE	ANCHOR BOLT

ANCHOR BOLT SUMMARY			
Qty	Locate	Dia (in)	Type
40	Frame	3/4"	F1554

### ANCHOR BOLT PLAN

#### GENERAL NOTES

1. THE SPECIFIED ANCHOR ROD DIAMETER ASSUMES F1554 GRADE 36 UNLESS NOTED OTHERWISE. ANCHOR ROD MATERIAL OF EQUAL DIAMETER MEETING OR EXCEEDING THE STRENGTH REQUIREMENTS SET FORTH ON THESE DRAWINGS MAY BE UTILIZED AT THE DISCRETION OF THE FOUNDATION DESIGN ENGINEER. ANCHOR ROD EMBEDMENT LENGTH SHALL BE DETERMINED BY THE FOUNDATION DESIGN ENGINEER.
2. METAL BUILDING MANUFACTURER IS NOT RESPONSIBLE FOR PROJECT FOUNDATION DESIGN. THE FOUNDATION DESIGN IS THE RESPONSIBILITY OF A REGISTERED PROFESSIONAL ENGINEER, FAMILIAR WITH LOCAL SITE CONDITIONS.
3. ANCHOR RODS, NUTS, FLAT WASHERS FOR ANCHOR RODS, EXPANSION BOLTS, AND CONCRETE/MASONRY EMBEDMENT PLATES ARE NOT BY METAL BUILDING MANUFACTURER.
4. THE ANCHOR ROD LOCATIONS PROVIDED BY METAL BUILDING MANUFACTURER SATISFY PERTINENT REQUIREMENTS FOR THE DESIGN OF THE MATERIALS SUPPLIED BY THE METAL BUILDING MANUFACTURER. IT IS THE RESPONSIBILITY OF THE FOUNDATION ENGINEER TO MAKE CERTAIN THAT SUFFICIENT EDGE DISTANCE IS PROVIDED FOR ALL ANCHOR RODS IN THE DETAILS OF THE FOUNDATION DESIGN.
5. DRAWINGS ARE NOT TO SCALE. SEE DETAILS FOR COLUMN ORIENTATION.
6. THE ANCHOR ROD PLAN INDICATES WHERE THE ANCHOR RODS ARE TO BE PLACED AS WELL AS THE FOOTPRINT OF THE METAL BUILDING. IT IS ESSENTIAL THAT THESE ANCHOR ROD PATTERNS BE FOLLOWED. IF THESE SETTINGS DIFFER FROM THE ARCHITECTURAL FOUNDATION PLANS, THE METAL BUILDING MANUFACTURER MUST BE CONTACTED IMMEDIATELY - BEFORE CONCRETE IS PLACED.
7. "SINGLE" CEE COLUMNS SHALL BE ORIENTED WITH THE "TOES" TOWARD THE LOW EAVE UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS ARE OUT TO OUT OF STEEL. IF CONCRETE NOTCH IS REQUIRED THEN THE REQUIRED DIMENSION SHOULD BE ADDED TO OBTAIN THE OUT TO OUT OF CONCRETE DIMENSIONS.
9. FINISHED FLOOR ELEVATION = 100'-0" BOTTOM OF BASE PLATE = 100'-0" UNLESS NOTED OTHERWISE.

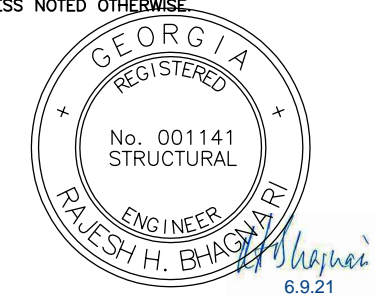


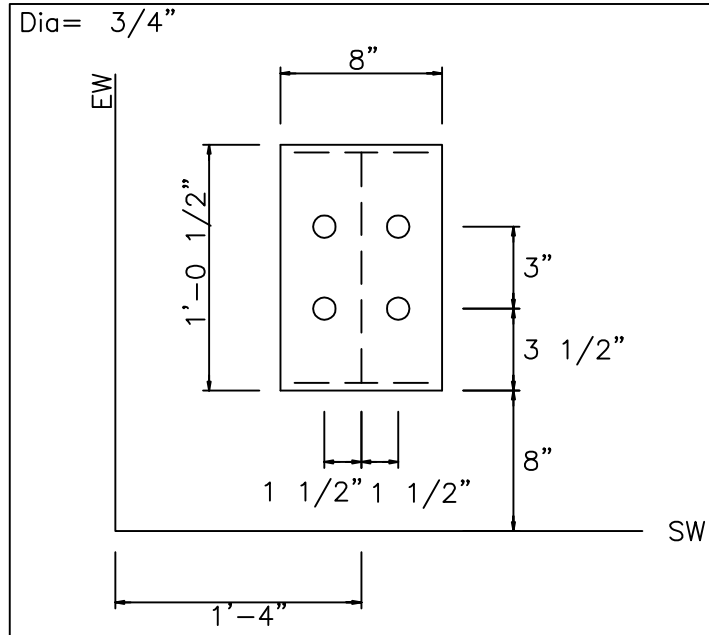
ANCHOR BOLT PLAN  
NOTE: All Base Plates @ 100'-0" (U.N.)

7200 N. LAKE DRIVE STE. 200  
COLUMBUS, GA 31909  
PHONE: (706) 562-8020  
FAX: (706) 562-8017

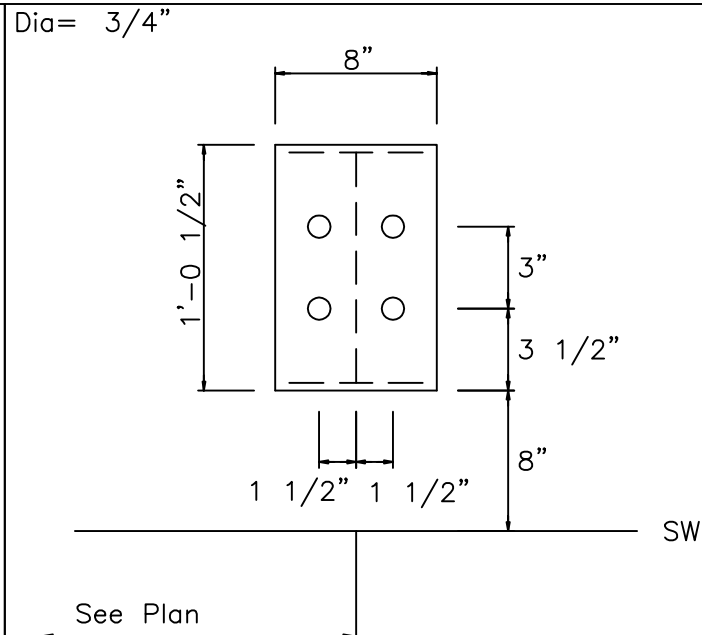
PROJECT NAME  
HALE AVIATION R1  
95 E AVIATION WAY, NEWNAN, GA 30264  
CUSTOMER NAME  
GAPCO INDUSTRIES  
HAMPTON, GA 30228

JOB NUMBER SHEET TITLE  
SHEET  
AB-  
Packet Pg. 26

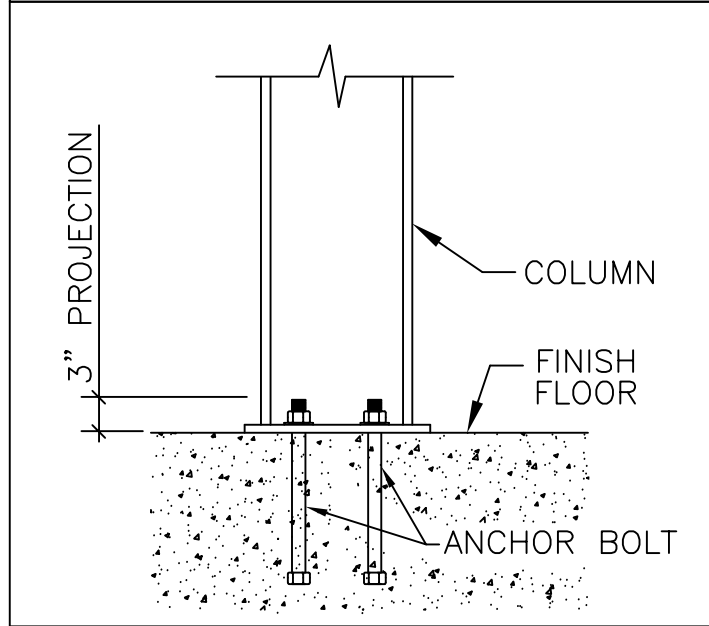




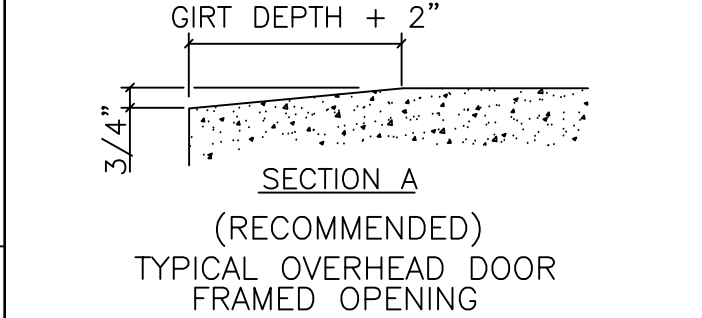
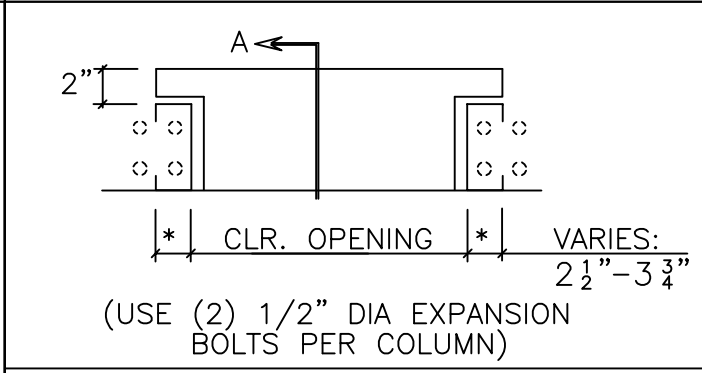
DETAIL A



DETAIL B



TYPICAL COLUMN BASE PLATE DETAIL



FOUNDATION DESIGN NOTES:

1. THE ORIENTATION OF THE ANCHOR BOLT DETAILS SHOWN ON THIS PAGE MAY NOT COINCIDE WITH THE ACTUAL COLUMN ORIENTATION SHOWN ON THE ANCHOR BOLT DRAWING. PLEASE REFERENCE THE SIDEWALL (SW) AND ENDWALL (EW) STEEL LINES SHOWN ON THE ANCHOR BOLT DETAILS WITH THE ANCHOR BOLT PLAN DURING LAYOUT OF COLUMN AND ANCHOR BOLT LOCATIONS.
2. COLUMN BASE PLATES MAY HAVE MORE HOLES THAN ARE REQUIRED DUE TO PRODUCTION LIMITATIONS. PLEASE FOLLOW ANCHOR BOLT DETAILS FOR QUANTITY OF ANCHOR BOLTS REQUIRED. EXTRA BASE PLATE HOLES DO NOT NEED INFILLED PER THE MBS DESIGN SPECIFICATIONS.

DATE	6/2/2021
ENG	RHB
CHK	ERW
DRN	LC
ISSUE	ANCHOR BOLT

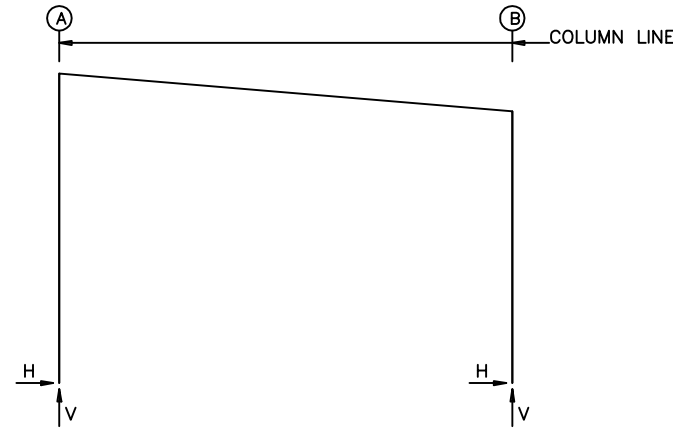
7200 N. LAKE DRIVE STE. 200  
COLUMBUS, GA 31909  
PHONE: (706) 562-8020  
FAX: (706) 562-8017

PROJECT NAME  
HALE AVIATION R1  
95 E AVIATION WAY, NEWNAN, GA 30264  
CUSTOMER NAME  
GAPCO INDUSTRIES  
HAMPTON, GA 30228

JOB NUMBER SHEET TITLE  
SHEET  
AB-



FRAME LINES: 1 2 3 4 5



**RIGID FRAME: ANCHOR BOLTS & BASE PLATES**

Frn Line	Col Line	Anc. Bolt Qty	Bolt Dia	Base Plate Width (in)	Base Plate Length (in)	Base Plate Thick	Grout (in)
1*	A	4	0.750	8.000	12.50	0.375	0.0
1*	B	4	0.750	8.000	12.50	0.375	0.0

1\* Frame lines: 1 2 3 4 5

**BUILDING BRACING REACTIONS**

Wall Loc	Col Line	± Reactions(k.)	Panel Shear (lb/ft)	Note				
		Wind Horz	Wind Vert	Seismic Horz	Seismic Vert	Wind	Seis	
L_EW	1							(h)
F_SW	B	2.1	0.8	1.4	0.6			(h)
R_EW	5							
B_SW	A	Torsional Bracing Used						

(h) Rigid frame at endwall

**RIGID FRAME: BASIC COLUMN REACTIONS (k)**

Frame Line	Column Line	Dead Horiz	Dead Vert	Collateral Horiz	Collateral Vert	Live Horiz	Live Vert	Snow Horiz	Snow Vert	Snow_Drift Horiz	Snow_Drift Vert	Wind_Left1 Horiz	Wind_Left1 Vert
1*	A	0.1	1.1	0.2	1.3	0.5	3.7	0.8	6.6	0.3	4.9	-2.6	-5.0
1*	B	-0.1	1.1	-0.2	1.3	-0.5	3.6	0.1	1.2	-0.2	0.7	-2.8	-0.8

Frame Line	Column Line	Wind_Right1 Horiz	Wind_Right1 Vert	Wind_Left2 Horiz	Wind_Left2 Vert	Wind_Right2 Horiz	Wind_Right2 Vert	Wind_Long1 Horiz	Wind_Long1 Vert	Wind_Long2 Horiz	Wind_Long2 Vert	Seismic_Left Horiz	Seismic_Left Vert
1*	A	2.4	-2.8	-3.4	-3.1	1.4	-1.0	1.0	-3.4	1.4	-4.2	-0.2	-0.2
1*	B	3.0	-6.3	-2.0	1.1	4.0	-4.4	-1.8	-2.4	-0.7	-5.0	-0.2	0.2

Frame Line	Column Line	Seismic_Right Horiz	Seismic_Right Vert	Seismic_Long Horiz	Seismic_Long Vert	MIN_SNOW Horiz	MIN_SNOW Vert
1*	A	0.2	0.2	-0.3	-0.4	0.2	1.3
1*	B	0.2	-0.2	-0.3	0.4	-0.2	1.3

1\* Frame lines: 1 2 3 4 5

**GENERAL NOTES**

- ALL LOADING CONDITIONS ARE EXAMINED. THE MAXIMUM AND MINIMUM HORIZONTAL (H) AND VERTICAL (V) REACTIONS AND THE CORRESPONDING VERTICAL (V) OR HORIZONTAL (H) REACTIONS ARE REPORTED.
- REACTIONS ARE PROVIDED BY LOAD CASE IN ORDER TO AID THE FOUNDATION ENGINEER IN DETERMINING THE APPROPRIATE LOAD FACTORS AND COMBINATIONS TO BE USED WITH EITHER WORKING STRESS OR ULTIMATE STRENGTH DESIGN METHODS. WIND LOAD CASES ARE GIVEN FOR EACH PRIMARY WIND DIRECTION.
- FOR ASCE7-10 AND LATER BASED BUILDING CODES, THE UNFACTORED LOAD CASE REACTIONS DUE TO WIND ARE GENERATED USING THE ULTIMATE DESIGN WIND SPEED (v<sub>ult</sub>).
- POSITIVE (+) REACTIONS ARE AS SHOWN ABOVE. FOUNDATION LOADS ARE IN OPPOSITE DIRECTIONS.
- BRACING REACTIONS ARE IN THE PLANE OF THE BRACE WITH THE HORIZONTAL REACTION (H) ACTING AWAY FROM THE BRACED BAY AND THE VERTICAL REACTION (V) ACTING DOWNWARD.

**\*\*\*\*\* RIGID FRAME LOAD CASE ABBREVIATIONS: \*\*\*\*\***

Wind\_L1/Wind\_R1: LATERAL WIND FROM THE LEFT/RIGHT, CASE 1  
 Wind\_L2/Wind\_R2: LATERAL WIND FROM THE LEFT/RIGHT, CASE 2  
 Wind\_Ln1/Wind\_Ln2: LONGITUDINAL WIND, CASE 1/2  
 Seismic\_L/Seismic\_R: LATERAL SEISMIC LOAD FROM LEFT/RIGHT  
 LWIND#\_L/E/LWIND#\_R/E: LONGITUDINAL WIND EDGE ZONES  
 F#UNB\_SL\_L/F#UNB\_SL\_R: UNBALANCED ROOF SNOW WITH WIND FROM LEFT/RIGHT  
 F#PAT\_LL #/F#PAT\_SL #: PARTIAL LIVE/SNOW LOADING FOR CONTINUOUS BEAM SYSTEMS

**\*\*\*\*\* ENDWALL COLUMN LOAD CASE ABBREVIATIONS: \*\*\*\*\***

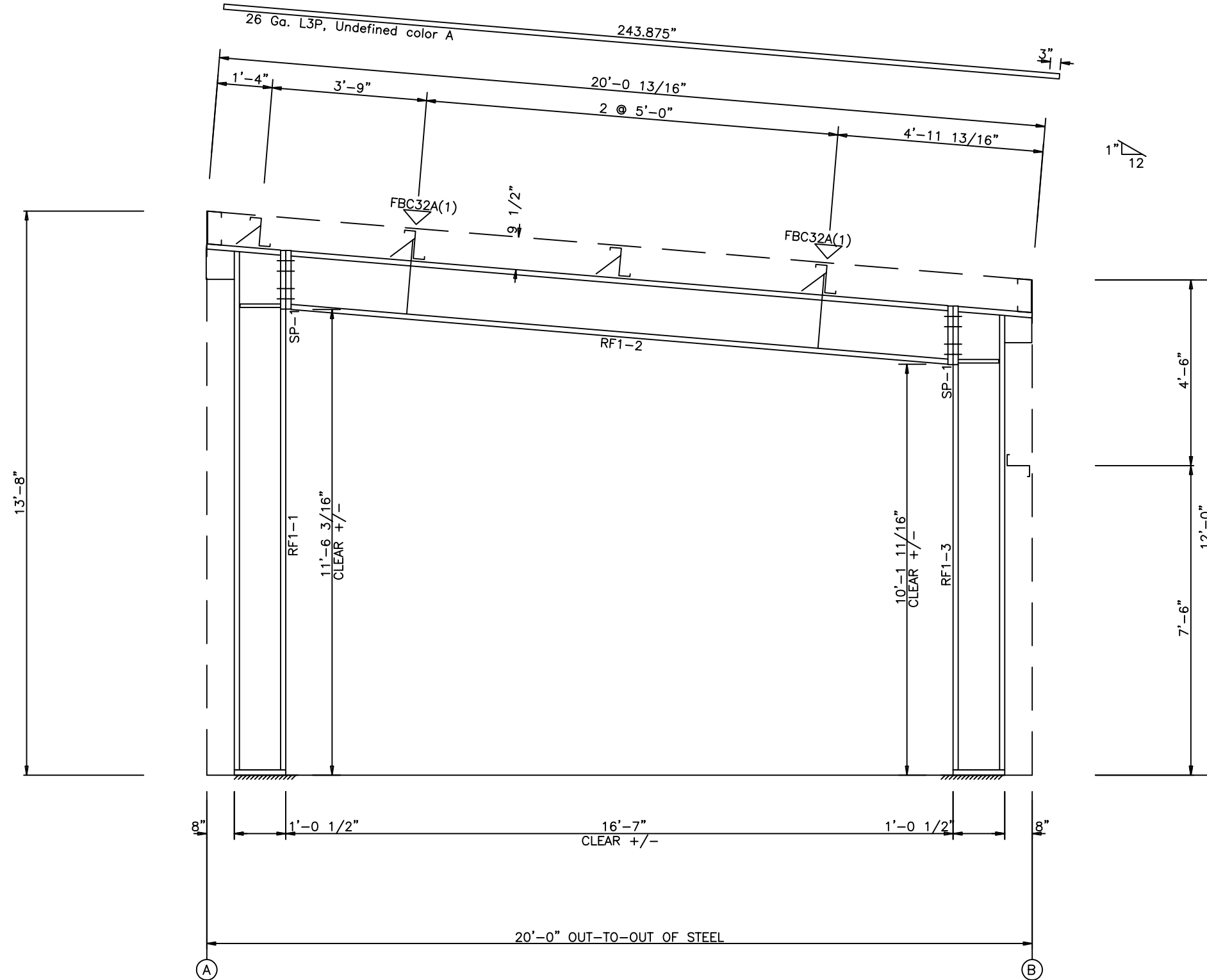
Collat: COLLATERAL LOAD  
 Rafter Wind\_L/Rafter Wind\_R: LATERAL WIND FROM THE LEFT/RIGHT  
 Brace Wind\_L/Brace Wind\_R: LATERAL WIND FROM THE LEFT/RIGHT  
 Wind\_P/Wind\_S: LONGITUDINAL WIND PRESSURE/SUCTION ON COLUMNS  
 Wind\_Ln: LONGITUDINAL WIND SUCTION ON ROOF  
 Seis\_L/Seis\_R: LATERAL SEISMIC LOAD FROM LEFT/RIGHT  
 E#UNB\_SL\_L/E#UNB\_SL\_R: UNBALANCED ROOF SNOW WITH WIND FROM LEFT/RIGHT  
 E#PAT\_LL #/E#PAT\_SL #: PARTIAL LIVE/SNOW LOADING FOR CONTINUOUS BEAM SYSTEMS



PROJECT NAME	HALE AVIATION R1
CUSTOMER NAME	GAPCO INDUSTRIES
JOB NUMBER	30228
DATE	6/2/2021
ISSUE	ANCHOR BOLT
ENGINEER	RHB
CHECKER	ERW
DATE	6/2/2021
PROJECT	95 E AVIATION WAY, NEWNAN, GA 30264
CUSTOMER	7200 N. LAKE DRIVE STE. 200 COLUMBUS, GA 31909
PHONE	(706) 562-8020
FAX	(706) 562-8017

SPLICE PLATE & BOLT TABLE										
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length	
	Top	Bot								
SP-1	4	4	0	A325	0.625	2.25	6"	3/8"	1'-3	3/8"

▽ FLANGE BRACES: (1) One Side; (2) Two Sides  
A - L2525105



RIGID FRAME ELEVATION: FRAME LINE 1 2 3 4 5



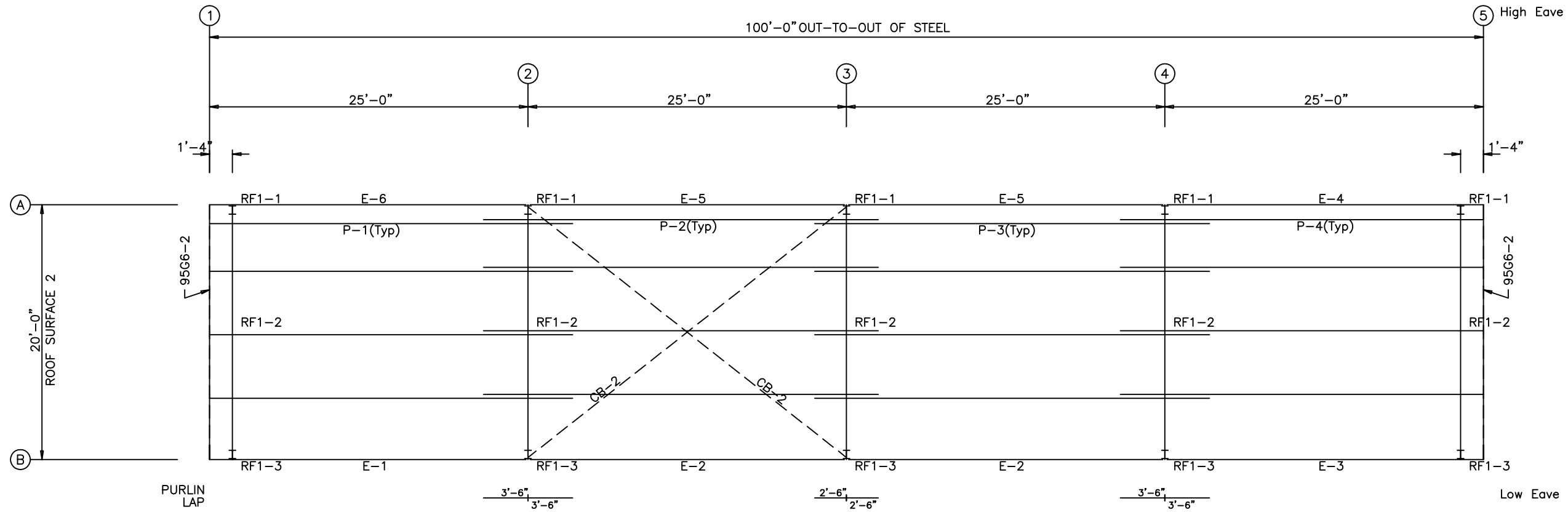
These drawings are only to be used for the materials specified by the Metal Building Manufacturers Association. The drawings and the metal building manufacturer shall be the responsibility of the professional engineer whose name is on these drawings. The professional engineer and the building manufacturer shall be jointly and severally liable for any and all claims, damages, and costs, including reasonable attorneys' fees, arising out of or from the use of these drawings and does not represent the product and shall not be liable for any claims, damages, and costs, including reasonable attorneys' fees, arising out of or from the use of these drawings.

DATE	ISSUE	PERMITS	CHK	ENG	PRE
6/2/2021			LC	ERW	RHB

PROJECT NAME  
**HALE AVIATION R1**  
7200 N. LAKE DRIVE STE. 200  
COLUMBUS, GA 31909  
PHONE: (706) 562-8020  
FAX: (706) 562-8017

CUSTOMER NAME  
**GAPCO INDUSTRIES**  
95 E AVIATION WAY, NEWNAN, GA 30264  
HAMPTON, GA 30228

JOB NUMBER SHEET TITLE  
E-0'



ROOF FRAMING PLAN

MEMBER TABLE ROOF PLAN		
MARK	PART	LENGTH
P-1	95Z067	341.750
P-2	95Z060	372.000
P-3	95Z060	372.000
P-4	95Z067	341.750
E-1	95E099	299.625
E-2	95E099	299.750
E-3	95E099	299.625
E-4	95HE099	299.625
E-5	95HE099	299.750
E-6	95HE099	299.625
CB-2	RDO5-	364.000

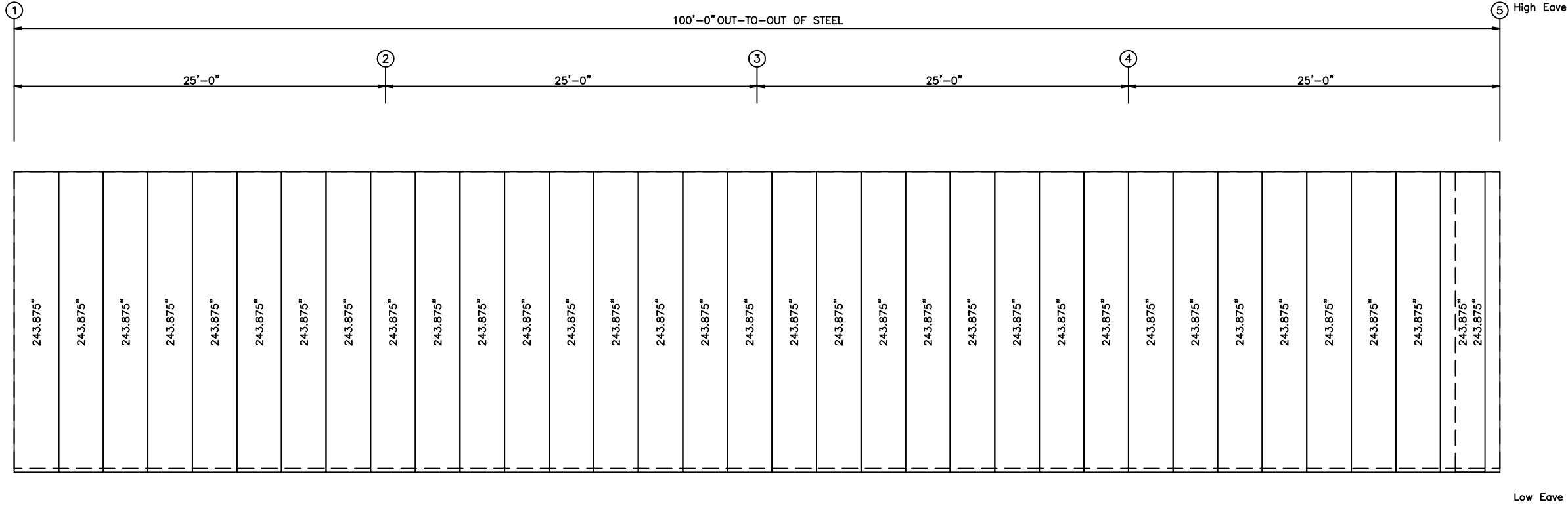
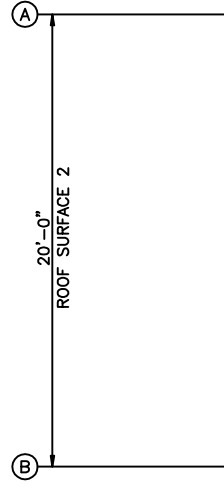


ISSUE	DATE
PERMITS	6/2/2021
LC	
ERW	
RHB	
RHB	

7200 N. LAKE DRIVE STE. 200  
COLUMBUS, GA 31909  
PHONE: (706) 562-8020  
FAX: (706) 562-8017

PROJECT NAME  
**HALE AVIATION R1**  
95 E AVIATION WAY, NEWNAN, GA 30264  
CUSTOMER NAME  
**GAPCO INDUSTRIES**  
HAMPTON, GA 30228

JOB NUMBER SHEET TITLE  
E-01



ROOF SHEETING PLAN  
PANELS: 26 Ga. L3P - TBS



6.9.21

This drawing is for the materials only to the materials supplied by the Metal Building Manufacturers Association. The drawings and the metal building manufacturer's professional engineer whose name is on these drawings is employed by the Manufacturer and does not represent the project and shall not be used for any other purpose.

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PROJECT NAME  
HALE AVIATION R1  
95 E AVIATION WAY, NEWNAN, GA 30264  
CUSTOMER NAME  
GAPCO INDUSTRIES  
HAMPTON, GA 30228

7200 N. LAKE DRIVE STE. 200  
COLUMBUS, GA 31909  
PHONE: (706) 562-8020  
FAX: (706) 562-8017

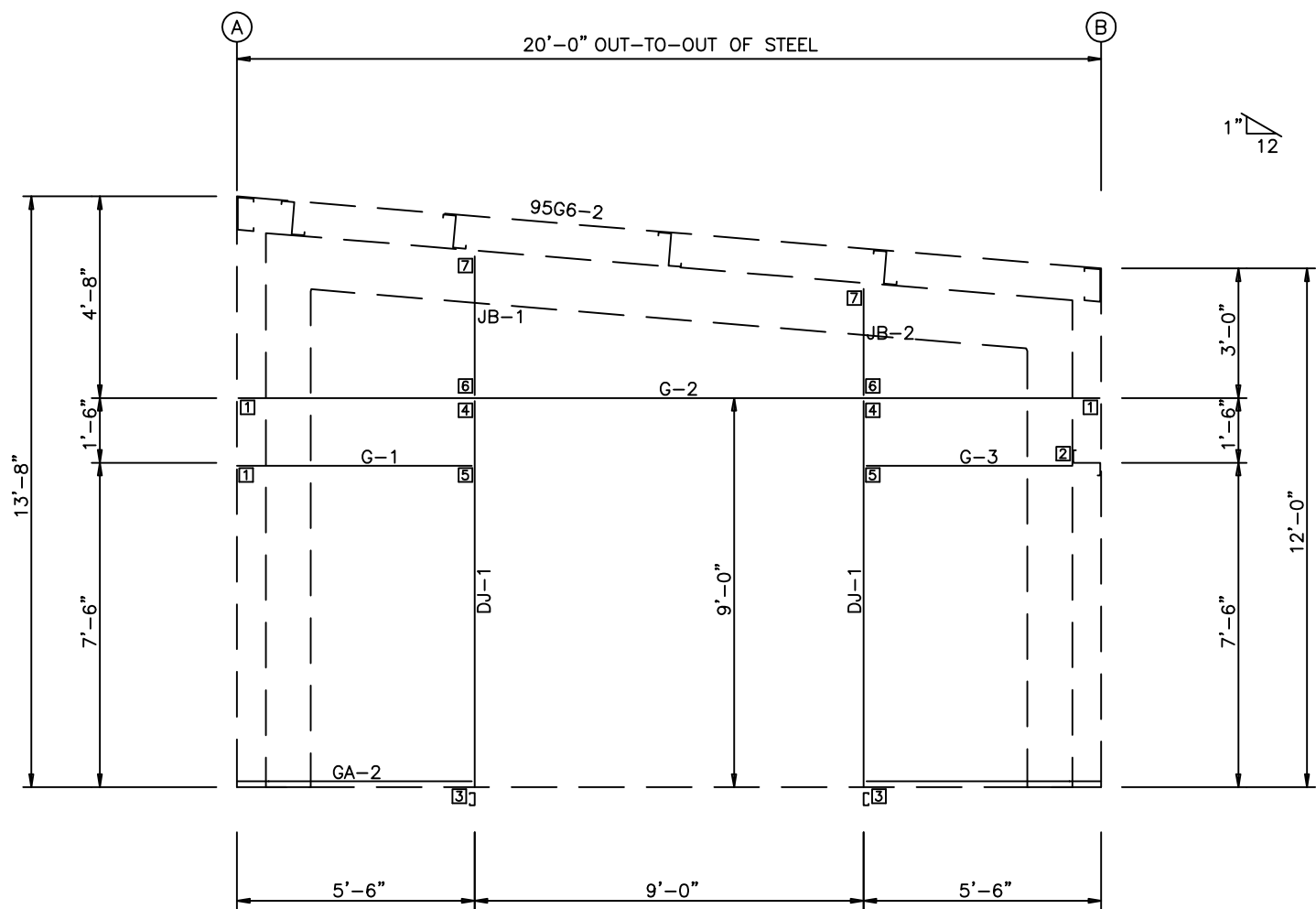
ISSUE	OWN	CHK	ENG	PRE	DATE
PERMITS	LC	ERW	RHB	RHB	6/2/2021

4.b

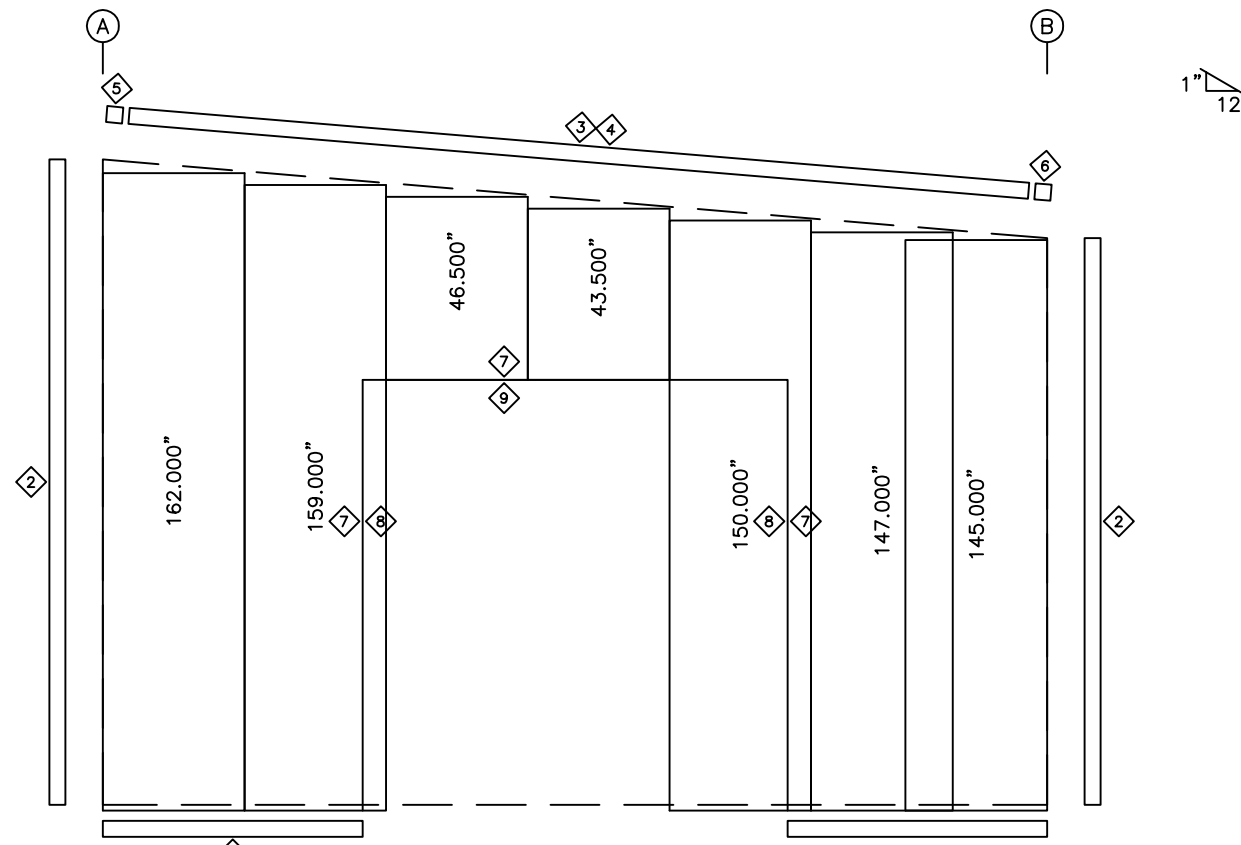
Attachment: A21L0721A-Steel draw (10467 : Hale Aircraft Real Estate, LLP Building Modification Request)

E-03

SHEET



ENDWALL FRAMING: FRAME LINE 1



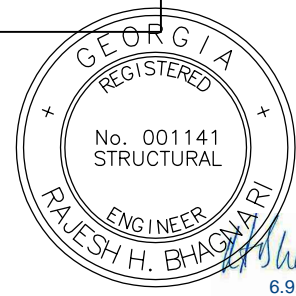
ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. L3P - TBS

TRIM TABLE FRAME LINE 1		
◇ID	PART	LENGTH
1	BSD02	122.000
2	OCA01	182.000
3	TRU1	182.000
4	RSF1	182.000
5	TRUECL	8.130
6	TRUECR	8.130
8	JTA121	121.000
9	HTA124	124.000

MEMBER TABLE FRAME LINE 1		
MARK	PART	LENGTH
DJ-1	F08C060	108.000
G-1	08Z060	62.750
G-2	08C067	239.500
G-3	08Z060	54.500
JB-1	F08C060	30.625
JB-2	F08C060	21.625

CONNECTION PLATES FRAME LINE 1	
□ID	MARK/PART
1	GCC03
2	GCC02
3	HCJ01&bh
4	JCT13
5	FOC94&bh
6	JCT02
7	CSR07

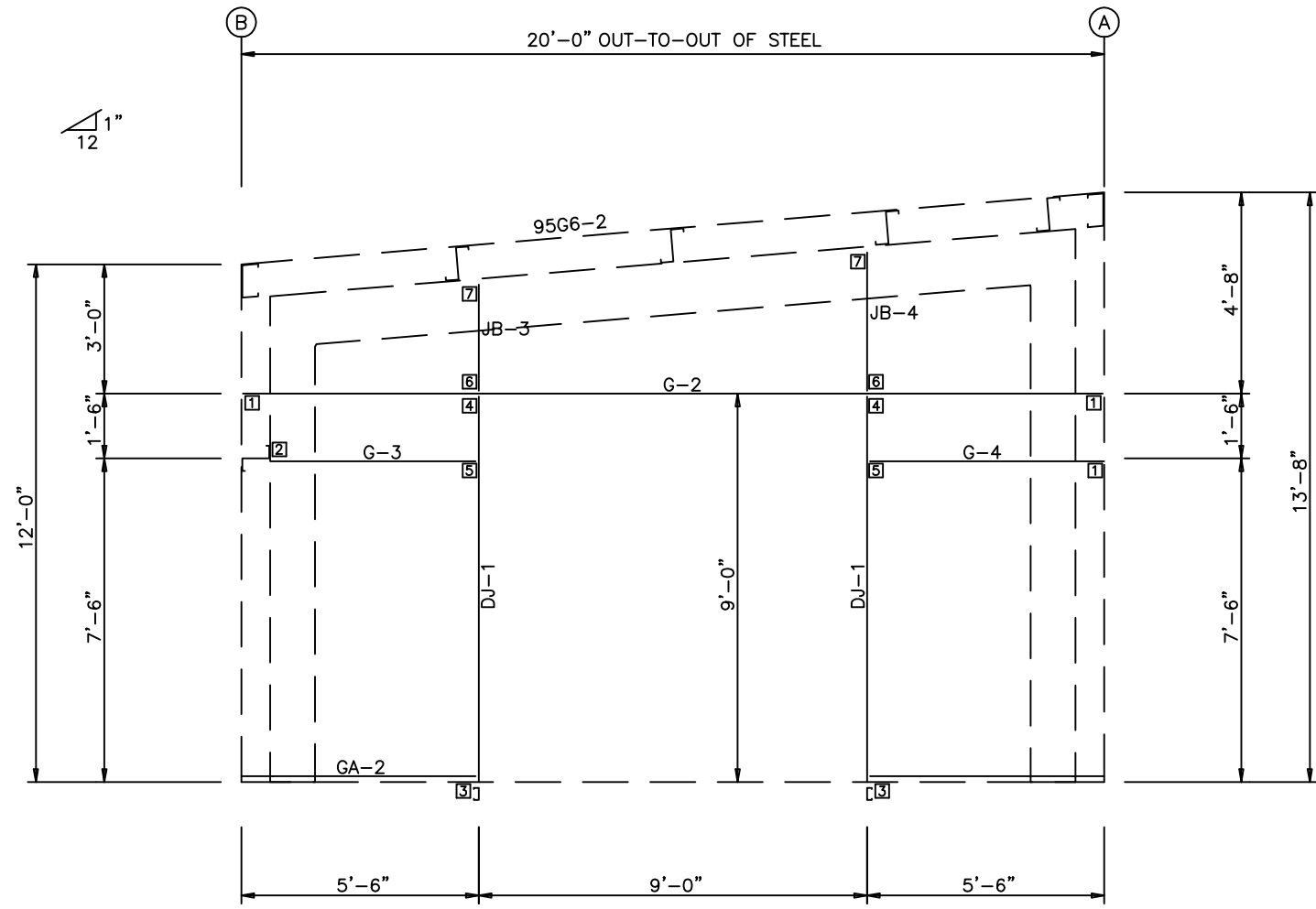


<p>7200 N. LAKE DRIVE STE. 200 COLUMBUS, GA 31909 PHONE: (706) 562-8020 FAX: (706) 562-8017</p>	<p>PROJECT NAME <b>HALE AVIATION R1</b></p> <p>CUSTOMER NAME <b>95 E AVIATION WAY, NEWNAN, GA 30264</b></p> <p><b>GAPCO INDUSTRIES</b> HAMPTON, GA 30228</p>	<p>DATE <b>6/2/2021</b></p> <p>ENG - RHB</p> <p>CHK - ERW</p> <p>DRW - LC</p> <p>ISSUE</p>	<p>PERMITS</p>	<p>4.b</p>
	<p>JOB NUMBER</p>	<p>SHEET TITLE</p>	<p>SHEET</p>	<p>E-0'</p>

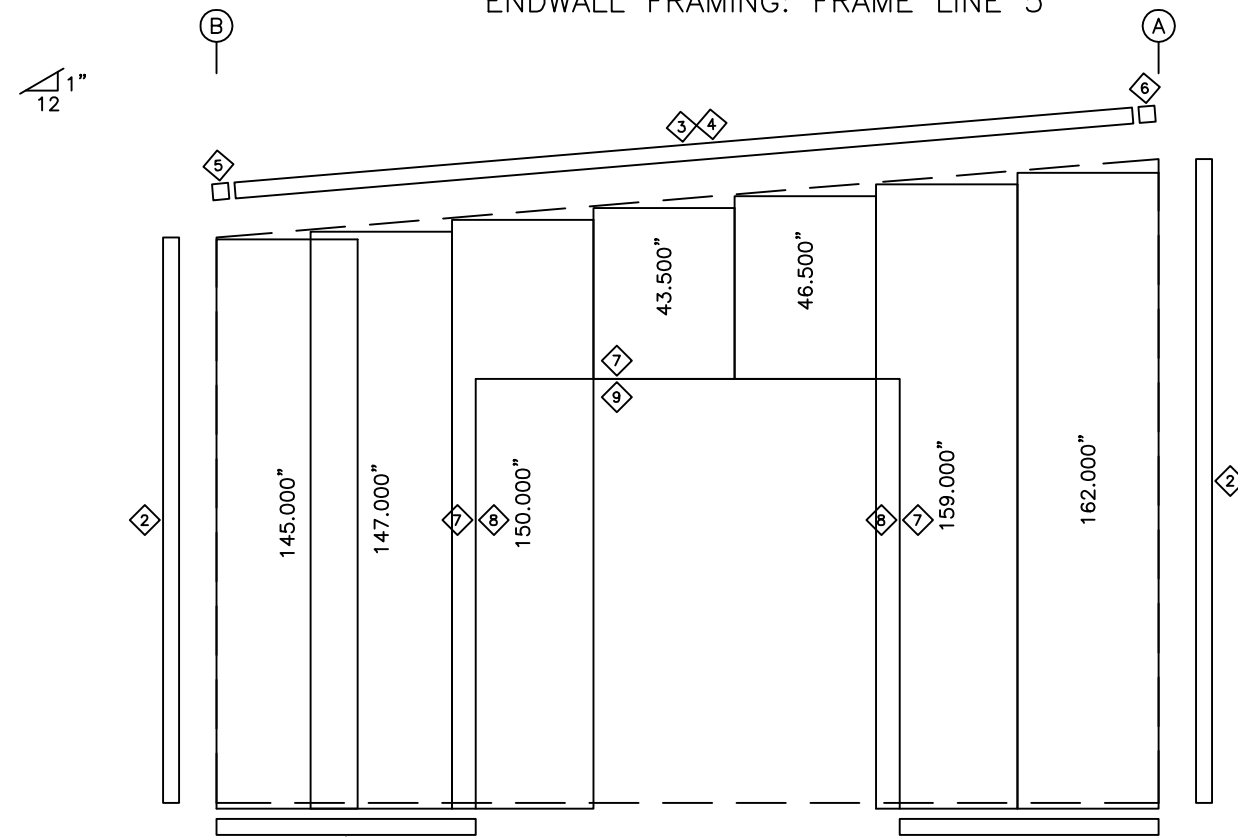
Attachment: A21L0721A-Steel draw (10467 : Hale Aircraft Real Estate, LLP Building Modification Request)

Scale: E-0'





ENDWALL FRAMING: FRAME LINE 5



ENDWALL SHEETING & TRIM: FRAME LINE 5

PANELS: 26 Ga. L3P - TBS

TRIM TABLE FRAME LINE 5		
◇ ID	PART	LENGTH
1	BSD02	122.000
2	OCA01	182.000
3	TRU1	182.000
4	RSF1	182.000
5	TRUECL	8.130
6	TRUECR	8.130
7	CCA121	121.000
8	JTA121	121.000
9	HTA124	124.000

MEMBER TABLE FRAME LINE 5		
MARK	PART	LENGTH
DJ-1	F08C060	108.000
G-2	08C067	239.500
G-3	08Z060	54.500
G-4	08Z060	62.750
JB-3	F08C060	21.625
JB-4	F08C060	30.625

CONNECTION PLATES FRAME LINE 5	
□ ID	MARK/PART
1	GCC03
2	GCC02
3	HCJ01&bh
4	JCT13
5	FOC94&bh
6	JCT02
7	CSR07



ISSUE	DATE
PERMITS	6/2/2021

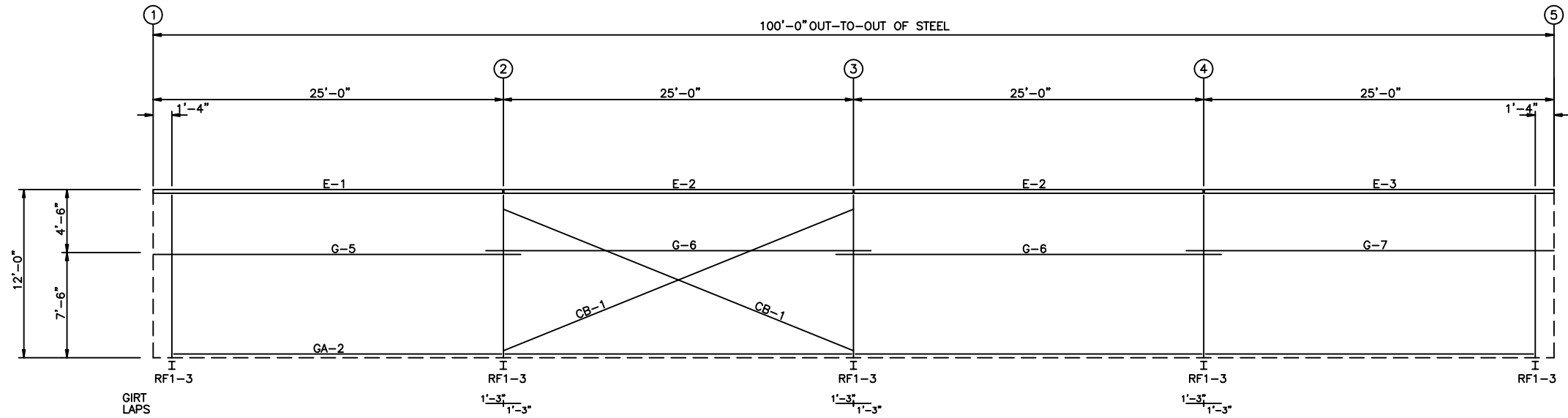
7200 N. LAKE DRIVE STE. 200  
COLUMBUS, GA 31909  
PHONE: (706) 562-8020  
FAX: (706) 562-8017

PROJECT NAME  
HALE AVIATION R1  
95 E AVIATION WAY, NEWNAN, GA 30264

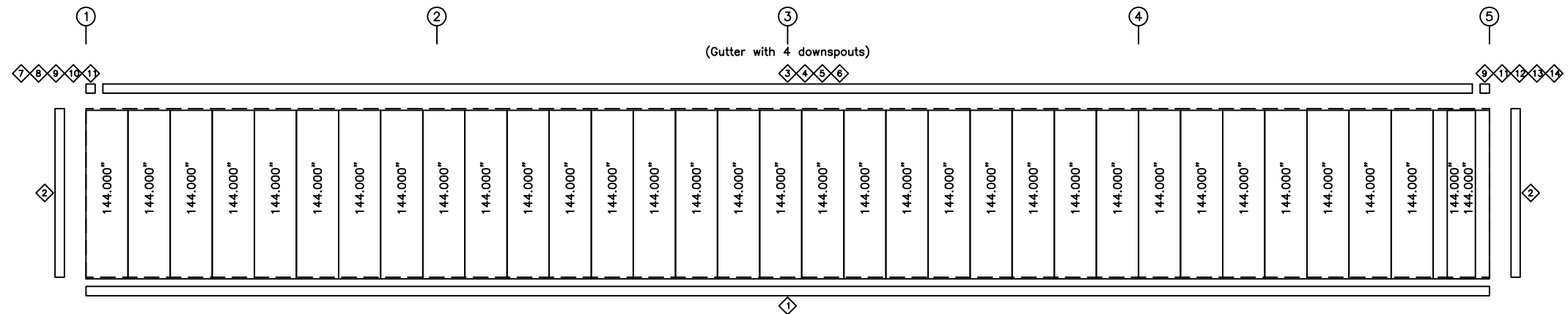
CUSTOMER NAME  
GAPCO INDUSTRIES  
HAMPTON, GA 30228

Attachment: A21L0721A-Steel draw (10467 : Hale Aircraft Real Estate, LLP Building Modification Request)

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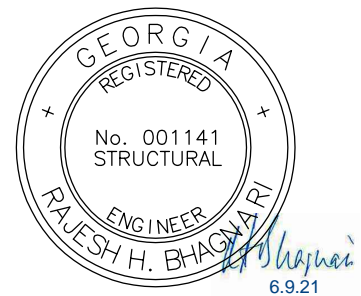
SIDEWALL FRAMING: FRAME LINE B



SIDEWALL SHEETING & TRIM: FRAME LINE B  
PANELS: 26 Ga. L3P - TBS

ID	PART	LENGTH
1	BSD02	122.000
2	OCA01	182.000
3	FEC1	182.000
4	TGT1	182.000
5	CGBL1	8.310
6	GC-A	9.940
7	GE1R	9.250
8	TCB1R	14.310
9	CGBL1	Use Drop
10	GC-A	Use Drop
11	TCGC	Use Drop
12	GE1L	9.250
13	TCB1L	14.310
14	GC-A	Use Drop

MARK	PART	LENGTH
E-1	95E099	299.625
E-2	95E099	299.750
E-3	95E099	299.625
G-5	08Z060	314.750
G-6	08Z060	330.000
G-7	08Z060	314.750
CB-1	RD05-	333.000

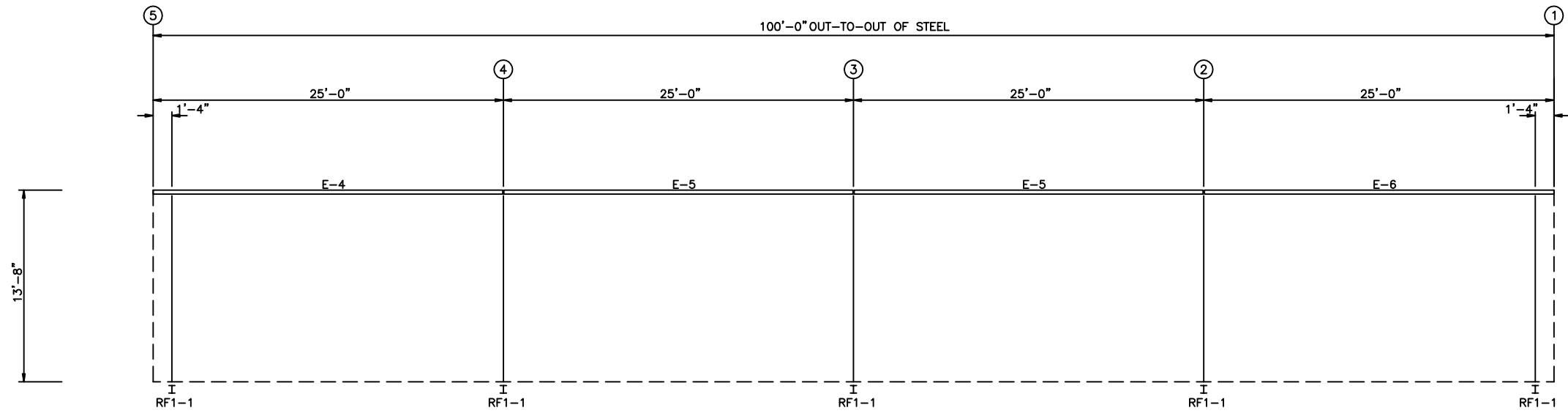


ISSUE	DATE
PERMITS	6/2/2021

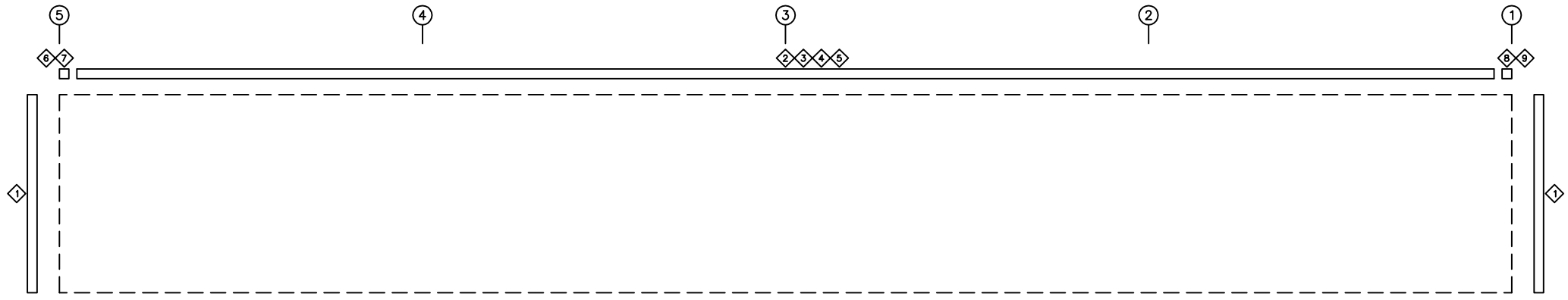
7200 N. LAKE DRIVE STE. 200  
COLUMBUS, GA 31909  
PHONE: (706) 562-8020  
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PROJECT NAME  
HALE AVIATION R1  
95 E AVIATION WAY, NEWNAN, GA 30264  
CUSTOMER NAME  
GAPCO INDUSTRIES  
HAMPTON, GA 30228  
JOB NUMBER

Supplied by the Metal Building Manufacturers Association  
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SHEET  
E-0f



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A

ID	PART	LENGTH
1	OCA01	182.000
2	THL1	182.000
3	FJ2	182.000
4	FEC1	182.000
5	FECO81	182.000
6	THCL1L	14.000
7	THEL1L	10.250
8	THCL1R	14.000
9	THEL1R	10.250

MARK	PART	LENGTH
E-4	95HE099	299.625
E-5	95HE099	299.750
E-6	95HE099	299.625



6.9.21

ISSUE	DATE
PERMITS	6/2/2021

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PROJECT NAME  
HALE AVIATION R1  
95 E AVIATION WAY, NEWNAN, GA 30264  
CUSTOMER NAME  
GAPCO INDUSTRIES  
HAMPTON, GA 30228

JOB NUMBER  
SHEET TITLE  
SHEET  
E-01



## **Airport Authority**

**To:** Newnan-Coweta County Airport Authority

**From:** Calvin Walker, Airport Manager

**Date:** 8/17/2021

**RE:** Aviation Career Day at the Newnan-Coweta County Airport

---

**Issue:** Career Day at the Newnan-Coweta County Airport (CCO)

**Discussion:** Airport Authority Chairman Rutkiewicz would like to host an aviation career day in the Spring of 2022 at the Newnan-Coweta County Airport to showcase the opportunities and careers available in the aviation sector.

**Recommendation:** Staff recommends that the Authority approve a request to host an aviation career day in Spring 2002 at Newnan-Coweta County Airport (CCO).

**Newnan-Coweta County Airport Authority**

115 Airport Road  
Newnan, GA 30263

**SCHEDULED**

Meeting: 08/26/21 09:00 AM  
Department: Airport Authority  
Category: Notification/Update  
Prepared By: Fran Collins  
Initiator: Calvin Walker  
Sponsors:

**AIRPORT AUTHORITY - INFORMATIONAL ITEM (ID # 8304)**

DOC ID: 8304

## Update from the Airport Manager

Update from the Airport Manager

**Newnan-Coweta County Airport Authority**

115 Airport Road  
Newnan, GA 30263

**SCHEDULED**

Meeting: 08/26/21 09:00 AM  
Department: Airport Authority  
Category: Notification/Update  
Prepared By: Fran Collins  
Initiator: Calvin Walker  
Sponsors:

**AIRPORT AUTHORITY - INFORMATIONAL ITEM (ID # 8305)**

DOC ID: 8305

## Update from the Airport Engineer

Update from the Airport Engineer